

K.C.W.

SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
 Surveyor of Hamilton County
 Phone (317) 776-8495
 Fax (317) 776-9628

Suite 188
 One Hamilton County Square
 Noblesville, Indiana 46060-2230

June 8, 2021

To: Hamilton County Drainage Board

Re: Thistlethwaite Drain, Aaron Rawlings Arm, Maple Run Sec. 5 Arm

Attached is a petition filed by Arbor Homes along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Maple Run of Sheridan Section 5 located in Adams Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. As per the plans by Stoepelwerth & Associates Engineering, Project No. 51510ARB-S5, the drain will consist of the following:

66" RCP	689 ft.
Open Drain	600 ft

The total length of the drain will be 1,289 feet.

The section of drain that is to become part of the regulated drain system is the storm line between Lake 4 and Lake 5 as shown on sheets C200 and C201 of the above-mentioned plans. The open drain begins at the southwest corner of Lake 5 where a regulated drain for a proposed future section of Maple Run of Sheridan will discharge and then continues north through Lake 5 to Structure #C09. Then continues as 66-inch RCP to Structure #C08, Structure #C07, Structure #C06, Structure #C05, Structure #C04, Structure #C03, Structure #C02, Structure #C01 where it discharges into Lake 4. This RCP is shown on sheet 601 of the above-mentioned plans. The open ditch is measured as a straight line through Lake 5.

The Maple Run Section 5 Arm as described above will be part of the Thistlethwaite Drain. Lake 5 is not to be considered part of the regulated drain. The maintenance of the pond shall include the outlet (Structure # C09) as part of the regulated drain. The maintenance of the pond such as sediment removal, and erosion control along the banks, mowing and aquatic vegetation control will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained, allowing no fill or easement encroachments.

The Maple Run Section 5 Arm as described above will be part of the Thistlethwaite Drain. Maintenance of the remaining drainage facilities within Maple Run Section 5 Subdivision shall be under the Town of Sheridan and/or the Maple Run Homeowners Association. Maintenance of the BMPs within Maple Run Section 5 Subdivision shall also be under the Town of Sheridan and/or the Maple Run Homeowners Association.

Future sections of the Maple Run of Sheridan constructed west of lots 124, 235, 263 & 370 shall have regulated drain easements on the east side of the parcels to satisfy the minimum required regulated drain easements.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. The maintenance assessment rates have been adopted by the Board at its meeting September 24, 2018, (see Drainage Board Minute Book 17, Pages 249-250). Maple Run Section 5 will be assessed at the Un-Regulated Subdivision rate of \$5.00 per acre, \$35.00 per lot and minimum.

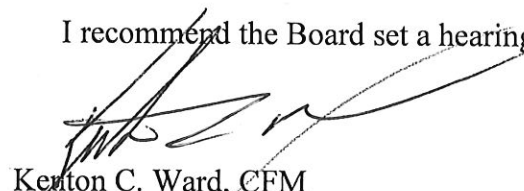
The petitioner has submitted surety for the proposed drain at this time. The amount of the bond is \$340,929.60 which represents 120% of the Engineer's Estimate of \$284,108.00. The surety which is in the form of a Performance Bond is as follows:

Agent: National Indemnity Company
Date: March 8, 2021
Bond Number: 70NGP185018
For: Storm Sewers
Amount: \$284,108.00
HCDB-2021-00015

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for Maple Run of Sheridan Section 5 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for July 26, 2021.



Kenton C. Ward, CFM
Hamilton County Surveyor

HAMILTON COUNTY DRAINAGE BOARD
NOBLESVILLE, INDIANA


IN RE: Maple Run, Section 5)
Hamilton County, Indiana)

PETITION FOR RELOCATION AND RECONSTRUCTION

Arbor Homes (hereinafter Petitioner"),
hereby petitions the Hamilton County Drainage Board for authority to relocate and improve a
section of the Thistlewaite Legal Drain, and in support of
said petition advises the Board that:

1. Petitioner owns real estate through which a portion of the Thistlewaite Legal Drain runs.
2. Petitioner plans to develop its real estate with roads, buildings, utilities, storm drains, sanitary sewers and other structures.
3. Petitioner's proposed development of its real estate will require relocation and reconstruction of a portion of the Thistlewaite Legal Drain, as specifically shown on engineering plans and specifications filed with the Hamilton County Surveyor.
4. The work necessary for the proposed relocation and reconstruction will be undertaken at the sole expense of the Petitioner and such work will result in substantial improvement to the Thistlewaite Legal Drain, without cost to other property owners on the watershed of the Thistlewaite Legal Drain.
5. Proposed relocation and reconstruction will not adversely affect other land owners within the drainage shed.
6. Petitioner requests approval of the proposed relocation and reconstruction under IC 36-9-27-52.5.

WHEREFORE, Petitioner requests that an Order issued from the Hamilton County Drainage Board authorizing relocation and reconstruction of the Thistlewaite Legal Drain, in conformance with applicable law and plans and specifications on file with the Hamilton County Surveyor.


Signed _____
Lantz McElroy
Printed _____

FINDINGS AND ORDER

CONCERNING THE MAINTENANCE OF THE

**Thistlewaite Drain, Aaron Rawlings Arm
Maple Run Section 5 Arm**

On this **26th day of July, 2021**, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the **Thistlewaite Drain, Aaron Rawlings Arm, Maple Run Section 5 Arm.**

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD



President



Member

Member

Attest: 
Executive Secretary

Item No.	Item	Unit	Unit Cost	Quantities	Cost	Performance Bond	Maintenance Bond
1	Streets (Asphalt base/ binder, less the surface) 5" #2 Stone + 4" #53 Stone + 3" Asphalt Binder	SY			\$0.00		
	Total				\$0.00	\$0.00	\$0.00
2	Streets (Asphalt surface) 1.5" Asphalt Surface	SY			\$0.00		
	Total				\$0.00	\$0.00	\$0.00
3	Curb Rollcurb	LF			\$0.00		
	Total				\$0.00	\$0.00	\$0.00
4	Legal Drain Storm Sewers						
	Beehive Inlet	EA	\$5,700.00	1	\$5,700.00		
	Single Curb Inlet	EA			\$0.00		
	Double Curb Inlet	EA			\$0.00		
	Manhole	EA	\$8,100.00	6	\$48,600.00		
	15" RCP	LF			\$0.00		
	18" RCP	LF			\$0.00		
	21" RCP	LF			\$0.00		
	24" RCP	LF			\$0.00		
	27" RCP	LF			\$0.00		
	30" RCP	LF			\$0.00		
	66" RCP	LF	\$285.00	689	\$196,365.00		
	30" RCP End Section w/ Trash Guards	EA			\$0.00		
	66" RCP End Section w/ Trash Guards	EA	\$9,800.00	2	\$19,600.00		
	6" SSD Single Wall Swales w/ Fabric	LF			\$0.00		
	6" SSD Single Wall Street	LF			\$0.00		
	6" Riser	EA			\$0.00		
	Bedding # 8 Stone	TONS	\$24.50	565	\$13,842.50		
	Granular Fill # 53 Stone	TONS			\$0.00		
	Video & Jet RCP	LF			\$0.00		
Rip Rap	TONS			\$0.00			
Total					\$284,108.00	\$340,929.60	\$28,410.80
5	Monuments & Markers Monuments & Markers	LS			\$0.00		
	Total				\$0.00	\$0.00	\$0.00
6	Street Signs Street Signs	LS			\$0.00		
	Total				\$0.00	\$0.00	\$0.00
7	Sanitary Sewer						
	Sanitary Manholes 8'-10'	EA			\$0.00		
	Sanitary Manholes 10'-12'	EA			\$0.00		
	Sanitary Manholes 16'-18'	EA			\$0.00		
	Sanitary Manholes 18'-20'	EA			\$0.00		
	Drop Manhole	EA			\$0.00		
	6" SDR 26 PVC 8'-10'	LF			\$0.00		
	6" SDR 26 PVC 10'-12'	LF			\$0.00		
	6" SDR 26 PVC 12'-14'	LF			\$0.00		
	6" SDR 26 PVC 16'-18'	LF			\$0.00		
	6" SDR 26 PVC 18'-20'	LF			\$0.00		
	8" SDR 26 PVC 8'-10'	LF			\$0.00		
	8" SDR 26 PVC 10'-12'	LF			\$0.00		
	8" SDR 26 PVC 12'-14'	LF			\$0.00		
	8" SDR 26 PVC 16'-18'	LF			\$0.00		

	8" SDR 26 PVC 18'-20'	LF			\$0.00		
	8" x 6" Wyes	EA			\$0.00		
	Stone Bedding	TONS			\$0.00		
	Granular Fill B - Borrow	TONS			\$0.00		
	Concrete Cradle	EA			\$0.00		
	Connect to Existing	EA			\$0.00		
	Air, Mandrel & Video Testing	LF			\$0.00		
	Total				\$0.00	\$0.00	\$0.00
8	Water Mains						
	8" DR 14	LF			\$0.00		
	12" DR 14	LF			\$0.00		
	Fire Hydrant w/ Storz	EA			\$0.00		
	12" Valve	EA			\$0.00		
	6" Valve	EA			\$0.00		
	8" Valve	EA			\$0.00		
	8" Bends	EA			\$0.00		
	8" Tees	EA			\$0.00		
	12" Bends	EA			\$0.00		
	12" Tees	EA			\$0.00		
	Valve Boxes	EA			\$0.00		
	Steel Casing	LF			\$0.00		
	Tie - In Main	EA			\$0.00		
	Sand for Crossing	TONS			\$0.00		
	#8 Stone	TONS			\$0.00		
	Sand for Bedding	TONS			\$0.00		
	Misc. Fittings	EA			\$0.00		
	Flushing & Testing	LF			\$0.00		
	Total				\$0.00	\$0.00	\$0.00

Performance Bond

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

CONTRACTOR:
Clayton Properties Group, Inc. dba
Arbor Homes
9225 Harrison Park Court
Indianapolis, IN 46216

SURETY:
National Indemnity Company
1314 Douglas Street, Suite 1400
Omaha, NE 68102-1944

OWNER:
Hamilton County Board of Commissioners
One Hamilton County Square
Noblesville IN. 46060

CONSTRUCTION CONTRACT

Date: March 8, 2021

Amount: \$284,108.00

Description (Name and Location):

Legal Drain - Stormwater Drain and Storm Sewer System, Maple Run Section 5, Sheridan, IN

BOND

Date (Not earlier than Construction Contract Date):

Amount: **\$340,929.60**

Modifications to this Bond:

None See Page 3

CONTRACTOR AS PRINCIPAL

SURETY

Company: Clayton Properties Group, Inc. dba
Arbor Homes

Company: National Indemnity Company

Signature: 
Name and Title: **John Hillebrand, VPL/LEAD**

Signature: 
Name and Title: **Matthew G. Grantham,
Attorney-in-Fact**

(Any additional signatures appear on page 3)

(FOR INFORMATION ONLY- Name, Address and Telephone)

AGENT or BROKER:

OWNER'S REPRESENTATIVE (Architect, Engineer or other party):

The Contractor and the Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors and assigns to the Owner for the performance of the Construction Contract, which is incorporated herein by reference.

2 If the Contractor performs the Construction Contract, the Surety and the Contractor shall have no obligation under this Bond, except to participate in conferences as provided in Subparagraph 3.1.

3 If there is no Owner Default, the Surety's obligation under this Bond shall arise after:

3.1 The Owner has notified the Contractor and the Surety at its address described in Paragraph 10 below that the Owner is considering declaring a Contractor Default and has requested and attempted to arrange a conference with the Contractor and the Surety to be held not later than fifteen days after receipt of such notice to discuss methods of performing the Construction Contract. If the Owner, the Contractor and the Surety agree, the Contractor shall be allowed a reasonable time to perform the Construction Contract, but such an agreement shall not waive the Owner's right, if any, subsequently to declare a Contractor Default; and

3.2 The Owner has declared a Contractor Default and formally terminated the Contractor's right to complete the contract. Such Contractor Default shall not be declared earlier than twenty days after the Contractor and the Surety have received notice as provided in Subparagraph 3.1; and

3.3 The Owner has agreed to pay the Balance of the Contract Price to the Surety in accordance with the terms of the Construction Contract or to a contractor selected to perform the Construction Contract in accordance with the terms of the contract with the Owner.

4 When the Owner has satisfied the conditions of Paragraph 3, Surety shall promptly and at the Surety's expense take one of the following actions:

4.1 Arrange for the Contractor, with consent of the Owner, to perform and complete the Construction Contract; or

4.2 Undertake to perform and complete the Construction Contract itself, through its agents or through independent contractors; or

4.3 Obtain bids or negotiated proposals for qualified contractors acceptable to the Owner for a contract for performance and completion of the Construction Contract, arrange for a contract to be prepared for execution by the Owner and the contractor selected with the Owner's concurrence, to be secured with performance and payment bonds executed by a qualified surety equivalent to the bonds issued on the Construction Contract, and pay to the Owner the amount of damages as described in Paragraph 6 in excess of the Balance of the Contract Price incurred by the Owner resulting from the Contractor's default; or

4.4 Waive its right to perform and complete, arrange for completion, or obtain a new contractor and with reasonable promptness under the circumstances

.1 After investigation, determine the amount for which it may be liable to the Owner and, as soon as practicable after the amount is determined, tender payment therefore to the Owner; or

.2 Deny liability in whole or in part and notify the Owner citing reasons therefore.

5 If the Surety does not proceed as provided in Paragraph 4 with reasonable promptness, the Surety shall be deemed to be in default on this Bond fifteen days after receipt of an additional written notice from the Owner to the Surety demanding that the Surety perform its obligations under this Bond, and the Owner shall be entitled to enforce and remedy available to the Owner. If the Surety proceeds as provided in Subparagraph 4.4, and the Owner refuses the payment tendered or the Surety has denied liability, in whole or in part, without further notice the Owner shall be entitled to enforce any remedy available to the Owner.

6 After the Owner has terminated the Contractor's right to complete the Construction Contract, and if the Surety elects to act under Subparagraph 4.1, 4.2, or 4.3 above, then the responsibility of the Surety to the Owner shall not be greater than those of the Contractor under the Construction Contract, and the responsibilities of the Owner to the Surety shall not be greater than those of the Owner under the Construction Contract. To the limit of the amount of this Bond, but subject to commitment by the Owner of the Balance of the Contract Price to mitigation of costs and damages on the Construction Contract, the Surety is obligated without duplication for:

6.1 The responsibilities of the Contractor for correction of defective work and completion of the Construction Contract.

6.2 Additional legal, design professional and delay costs resulting from the Contractor's Default, and resulting from the actions of failure to act of the Surety under Paragraph 4; and

6.3 Liquidated damages, or if no liquidated damages are specified in the Construction Contract, actual damages caused by delayed performance or non-performance of the Contractor.

7 The Surety shall not be liable to the Owner or others for obligations of the Contractor that are unrelated to the Construction Contract, and the Balance of the Contract Price shall not be reduced or set off on account of any such unrelated obligations. No right of action shall accrue on this Bond to any person or entity other than the Owner or its heirs, executors, administrators or successors.

8 The Surety hereby waives notice of any change, including changes of time, to the Construction Contract or to related sub-contractors purchase orders and other obligations.

9 Any proceeding, legal or equitable, under this Bond may be instituted in any court of competent jurisdiction in the location in which the work or part of the work is located and shall be instituted within two years after Contractor Default or within two years after the Contractor ceased working or within two years

after the Surety refuses or fails to perform its obligations under this Bond whichever occurs first. IF the provisions of this Paragraph are void or prohibited by law the minimum period of limitations available to sureties as a defense in the jurisdiction shall be applicable.

10 Notice to the Surety, the Owner or the Contractor shall be mailed or delivered to the address shown on the signature page.

11 When this Bond has been furnished to comply with a statutory or other legal requirement in the location where the construction was to be performed any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted here from and provisions conforming to such statutory or other legal requirements shall be deemed incorporated herein. The intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

12 DEFINITIONS

12.1 Balance of the Contract Price: The total amount payable by the Owner to the Contractor under the Construction Contract after all proper adjustments have been made including allowance to the Contractor of any amounts received or to be received by the Owner in settlement of insurance or other claims for damages to which the Contractor is entitled reduced by all valid and proper payments made to or on behalf of the Contractor under the Construction Contract.

12.2 Construction Contract: The agreement between the Owner and the Contractor identified on the signature page, including all Contract Documents and changes thereto.

12.3 Contractor Default: Failure of the Contractor, which has neither been remedied nor waived to perform or otherwise to comply with the terms of the Construction Contract.

12.4 Owner Default: Failure of the Owner, which has neither been remedied nor waived, to pay the Contractor as required by the Construction Contract or to perform and complete or comply with the other terms thereof.


MODIFICATIONS TO THIS BOND ARE AS FOLLOWS:


This Bond will remain in full force and effect until all outstanding requirements of the Owner are resolved and the Owner releases the Bond. The requirements for release included storm sewer inspections, and engineer's Certificate of Completion and Compliance being filed, as-built or record drawings being submitted and accepted, and any other requirements of Surety release as outlined in the Hamilton County Stormwater Management Technical Standards Manual.

[Space is provided below for additional signature of added parties, other than those appearing on the cover page.]

CONTRACTOR AS PRINCIPAL:
Company: Clayton Properties Group, Inc.
dba Arbor Homes

SURETY:
Company: National Indemnity Company

Signature: 
Name and Title: John Hillenborg VP Land
Address: 9225 Harrison Park Court, Indianapolis,
IN 46216

Signature: 
Name and Title: Matthew G. Grantham, Attorney-in-Fact
Address: 1314 Douglas Street, Suite 1400, Omaha, NE
68104-1944

POWER-OF-ATTORNEY

70NGP185018

NATIONAL INDEMNITY COMPANY

1314 DOUGLAS STREET, SUITE 1400, OMAHA, NEBRASKA 68102-1944
(402) 916-3000

KNOW ALL MEN BY THESE PRESENTS: This Power-of-Attorney is not valid unless attached to the duly-executed bond that it authorizes. This Power-of-Attorney specifies **THE AUTHORITY OF THE ATTORNEY-IN-FACT** and **THE LIABILITY OF NATIONAL INDEMNITY COMPANY, WHICH SHALL NOT EXCEED:**

**THREE HUNDRED FORTY THOUSAND, NINE HUNDRED TWENTY-NINE
AND 60/100 DOLLARS
(\$ 340,929.60)**

NATIONAL INDEMNITY COMPANY, a Nebraska corporation, having its principal office in the City of Omaha, State of Nebraska, does hereby make, constitute and appoint Matthew G. Grantham in the City of Omaha, County of Douglas, State of Nebraska, its true and lawful attorney-in-fact, at Omaha, in the State of Nebraska, to make, execute, seal and deliver for and on its behalf, and as its act and deed, any and all bonds and undertakings, provided that the liability of the Company as surety on any such bond executed under this authority shall not in any event exceed the sum shown above.

THIS POWER VOID IF ALTERED OR ERASED

The acknowledgement and execution of any such document by the said Attorney-in-Fact shall be as binding upon the Company as if such bond had been executed and acknowledged by the regularly-elected officers of this Company.

This Power of Attorney is granted, and is signed and sealed by original signature, under and by the authority of the following Resolution adopted by the Executive Committee, as duly authorized by the Board of Directors of NATIONAL INDEMNITY COMPANY, at a meeting duly called and held on the 15th day of March, 2017:

RESOLVED, That the President, any Vice President or the Secretary shall have the power and authority to (1) appoint Attorneys-in-fact and to authorize them to execute on behalf of this Company bonds and other undertakings and (2) remove at any time any such Attorney-in-fact and revoke the authority given.

FURTHER RESOLVED. That any Surety Administrator or Surety Underwriter shall have the power and authority to appoint Attorneys-in-fact and to authorize them to execute on behalf of this Company any license bond with a limit of \$10,000 or less.

FURTHER RESOLVED. That any Surety Administrator shall have the power and authority to appoint Attorneys-in-fact and to authorize them to execute on behalf of this Company (1) any bond, except an appeal bond, with a limit of \$10,000 or less and (2) any license bond with a limit of \$50,000 or less.

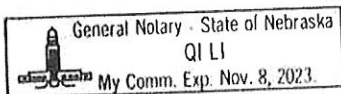
In Witness Whereof NATIONAL INDEMNITY COMPANY has caused its official seal to be hereunder affixed, and these presents to be signed by its Senior Vice President this 22nd day of April, 2021.

NATIONAL INDEMNITY COMPANY

BY Philip M. Wolf
(Name) Philip M. Wolf
(Title) Senior Vice President

STATE OF NEBRASKA }
COUNTY OF DOUGLAS } ss.:

On this 22nd day of April, 2021, before me, a Notary Public, personally appeared Philip M. Wolf, who being by me duly sworn, acknowledged that he signed the above Power of Attorney as Senior Vice President of said NATIONAL INDEMNITY COMPANY and acknowledged said instrument to be the voluntary act and deed of said corporation.



Qi Li
Notary Public, Nebraska

1. THIS POWER DOES NOT AUTHORIZE EXECUTION OF BONDS OF NE EXEAT OR ANY GUARANTEE FOR FAILURE TO PROVIDE PAYMENTS OF ALIMONY SUPPORT OR WAGE LAW CLAIMS, OR BONDS FOR CRIMINAL APPEARANCE.
2. THIS POWER DOES NOT AUTHORIZE THE EXECUTION OF BONDS FOR LOAN GUARANTEES.

NI-1180bb (08/18)

This Power Can Only Be Used in The State of: INDIANA
This Power Can Only Be Used For The Following Oblige(e)(s): HAMILTON COUNTY BOARD OF COMMISSIONERS
Bond Title or Description: PERFORMANCE: LEGAL DRAIN-STORMWATER DRAIN & STORM SEWER SYSTEM, MAPLE RUN SEC. 5, SHERIDAN, IN
Principal or case reference: CLAYTON PROPERTIES GROUP, INC. DBA ARBOR HOMES

Performance Bond

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

CONTRACTOR:
Clayton Properties Group, Inc. dba
Arbor Homes
9225 Harrison Park Court
Indianapolis, IN 46216

SURETY:
National Indemnity Company
1314 Douglas Street, Suite 1400
Omaha, NE 68102-1944

OWNER:
Hamilton County Board of Commissioners
One Hamilton County Square
Noblesville IN. 46060

CONSTRUCTION CONTRACT

Date: March 8, 2021

Amount: \$284,108.00

Description (Name and Location):

Legal Drain - Stormwater Drain and Storm Sewer System, Maple Run Section 5, Sheridan, IN

BOND

Date (Not earlier than Construction Contract Date):

Amount: **\$340,929.60**

Modifications to this Bond:

None See Page 3


CONTRACTOR AS PRINCIPAL

SURETY

Company: Clayton Properties Group, Inc. dba
Arbor Homes

Company: National Indemnity Company

Signature: 
Name and Title: **John Hillebrand, VPLAWA**

Signature: 
Name and Title: **Matthew G. Grantham,
Attorney-in-Fact**

(Any additional signatures appear on page 3)

(FOR INFORMATION ONLY- Name, Address and Telephone)

AGENT or BROKER:

OWNER'S REPRESENTATIVE (Architect, Engineer or other party):

The Contractor and the Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors and assigns to the Owner for the performance of the Construction Contract, which is incorporated herein by reference.

2 If the Contractor performs the Construction Contract, the Surety and the Contractor shall have no obligation under this Bond, except to participate in conferences as provided in Subparagraph 3.1.

3 If there is no Owner Default, the Surety's obligation under this Bond shall arise after:

3.1 The Owner has notified the Contractor and the Surety at its address described in Paragraph 10 below that the Owner is considering declaring a Contractor Default and has requested and attempted to arrange a conference with the Contractor and the Surety to be held not later than fifteen days after receipt of such notice to discuss methods of performing the Construction Contract. If the Owner, the Contractor and the Surety agree, the Contractor shall be allowed a reasonable time to perform the Construction Contract, but such an agreement shall not waive the Owner's right, if any, subsequently to declare a Contractor Default; and

3.2 The Owner has declared a Contractor Default and formally terminated the Contractor's right to complete the contract. Such Contractor Default shall not be declared earlier than twenty days after the Contractor and the Surety have received notice as provided in Subparagraph 3.1; and

3.3 The Owner has agreed to pay the Balance of the Contract Price to the Surety in accordance with the terms of the Construction Contract or to a contractor selected to perform the Construction Contract in accordance with the terms of the contract with the Owner.

4 When the Owner has satisfied the conditions of Paragraph 3, Surety shall promptly and at the Surety's expense take one of the following actions:

4.1 Arrange for the Contractor, with consent of the Owner, to perform and complete the Construction Contract; or

4.2 Undertake to perform and complete the Construction Contract itself, through its agents or through independent contractors; or

4.3 Obtain bids or negotiated proposals for qualified contractors acceptable to the Owner for a contract for performance and completion of the Construction Contract, arrange for a contract to be prepared for execution by the Owner and the contractor selected with the Owner's concurrence, to be secured with performance and payment bonds executed by a qualified surety equivalent to the bonds issued on the Construction Contract, and pay to the Owner the amount of damages as described in Paragraph 6 in excess of the Balance of the Contract Price incurred by the Owner resulting from the Contractor's default; or

4.4 Waive its right to perform and complete, arrange for completion, or obtain a new contractor and with reasonable promptness under the circumstances

.1 After investigation, determine the amount for which it may be liable to the Owner and, as soon as practicable after the amount is determined, tender payment therefore to the Owner; or

2 Deny liability in whole or in part and notify the Owner citing reasons therefore.

5 If the Surety does not proceed as provided in Paragraph 4 with reasonable promptness, the Surety shall be deemed to be in default on this Bond fifteen days after receipt of an additional written notice from the Owner to the Surety demanding that the Surety perform its obligations under this Bond, and the Owner shall be entitled to enforce and remedy available to the Owner. If the Surety proceeds as provided in Subparagraph 4.4 and the Owner refuses the payment tendered or the Surety has denied liability, in whole or in part, without further notice the Owner shall be entitled to enforce any remedy available to the Owner.

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6.1 The responsibilities of the Contractor for correction of defective work and completion of the Construction Contract.

6.2 Additional legal, design professional and delay costs resulting from the Contractor's Default, and resulting from the actions of failure to act of the Surety under Paragraph 4; and

6.3 Liquidated damages, or if no liquidated damages are specified in the Construction Contract, actual damages caused by delayed performance or non-performance of the Contractor.

7 The Surety shall not be liable to the Owner or others for obligations of the Contractor that are unrelated to the Construction Contract, and the Balance of the Contract Price shall not be reduced or set off on account of any such unrelated obligations. No right of action shall accrue on this Bond to any person or entity other than the Owner or its heirs, executors, administrators or successors.

8 The Surety hereby waives notice of any change, including changes of time, to the Construction Contract or to related sub-contractors purchase orders and other obligations

9 Any proceeding, legal or equitable, under this Bond may be instituted in any court of competent jurisdiction in the location in which the work or part of the work is located and shall be instituted within two years after Contractor Default or within two years after the Contractor ceased working or within two years

after the Surety refuses or fails to perform its obligations under this Bond whichever occurs first. IF the provisions of this Paragraph are void or prohibited by law the minimum period of limitations available to sureties as a defense in the jurisdiction shall be applicable.

10 Notice to the Surety, the Owner or the Contractor shall be mailed or delivered to the address shown on the signature page.

11 When this Bond has been furnished to comply with a statutory or other legal requirement in the location where the construction was to be performed, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted here from and provisions conforming to such statutory or other legal requirements shall be deemed incorporated herein. The intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

12 DEFINITIONS

12.1 Balance of the Contract Price: The total amount payable by the Owner to the Contractor under the Construction Contract after all proper adjustments have been made including allowance to the Contractor of any amounts received or to be received by the Owner in settlement of insurance or other claims for damages to which the Contractor is entitled reduced by all valid and proper payments made to or on behalf of the Contractor under the Construction Contract.

12.2 Construction Contract: The agreement between the Owner and the Contractor identified on the signature page, including all Contract Documents and changes thereto.

12.3 Contractor Default: Failure of the Contractor, which has neither been remedied nor waived to perform or otherwise to comply with the terms of the Construction Contract.

12.4 Owner Default: Failure of the Owner, which has neither been remedied nor waived, to pay the Contractor as required by the Construction Contract or to perform and complete or comply with the other terms thereof.


MODIFICATIONS TO THIS BOND ARE AS FOLLOWS:


This Bond will remain in full force and effect until all outstanding requirements of the Owner are resolved and the Owner releases the Bond. The requirement for release included storm sewer inspections, and engineer's Certificate of Completion and Compliance being filed, as-built or record drawings being submitted and accepted, and any other requirements of Surety release as outlined in the Hamilton County Stormwater Management Technical Standards Manual.

[Space is provided below for additional signature of added parties, other than those appearing on the cover page.]

CONTRACTOR AS PRINCIPAL:
Company: Clayton Properties Group, Inc.
dba Arbor Homes

SURETY:
Company: National Indemnity Company

Signature: 
Name and Title: John Hillenbury VP Land
Address: 9225 Harrison Park Court, Indianapolis,
IN 46216

Signature: 
Name and Title: Matthew G. Grantham, Attorney-in-Fact
Address: 1314 Douglas Street, Suite 1400, Omaha, NE
68104-1944

POWER-OF-ATTORNEY

70NGP185018

NATIONAL INDEMNITY COMPANY

1314 DOUGLAS STREET, SUITE 1400, OMAHA, NEBRASKA 68102-1944
(402) 916-3000

KNOW ALL MEN BY THESE PRESENTS: This Power-of-Attorney is not valid unless attached to the duly-executed bond that it authorizes. This Power-of-Attorney specifies **THE AUTHORITY OF THE ATTORNEY-IN-FACT** and **THE LIABILITY OF NATIONAL INDEMNITY COMPANY, WHICH SHALL NOT EXCEED:**

**THREE HUNDRED FORTY THOUSAND, NINE HUNDRED TWENTY-NINE
AND 60/100 DOLLARS
(\$ 340,929.60)**

NATIONAL INDEMNITY COMPANY, a Nebraska corporation, having its principal office in the City of Omaha, State of Nebraska, does hereby make, constitute and appoint Matthew G. Grantham in the City of Omaha, County of Douglas, State of Nebraska, its true and lawful attorney-in-fact, at Omaha, in the State of Nebraska, to make, execute, seal and deliver for and on its behalf, and as its act and deed, any and all bonds and undertakings, provided that the liability of the Company as surety on any such bond executed under this authority shall not in any event exceed the sum shown above.

THIS POWER VOID IF ALTERED OR ERASED

The acknowledgement and execution of any such document by the said Attorney-In-Fact shall be as binding upon the Company as if such bond had been executed and acknowledged by the regularly-elected officers of this Company.

This Power of Attorney is granted, and is signed and sealed by original signature, under and by the authority of the following Resolution adopted by the Executive Committee, as duly authorized by the Board of Directors of NATIONAL INDEMNITY COMPANY, at a meeting duly called and held on the 15th day of March, 2017:

RESOLVED, That the President, any Vice President or the Secretary shall have the power and authority to (1) appoint Attorneys-in-fact and to authorize them to execute on behalf of this Company bonds and other undertakings and (2) remove at any time any such Attorney-in-fact and revoke the authority given.

FURTHER RESOLVED. That any Surety Administrator or Surety Underwriter shall have the power and authority to appoint Attorneys-in-fact and to authorize them to execute on behalf of this Company any license bond with a limit of \$10,000 or less.

FURTHER RESOLVED. That any Surety Administrator shall have the power and authority to appoint Attorneys-in-fact and to authorize them to execute on behalf of this Company (1) any bond, except an appeal bond, with a limit of \$10,000 or less and (2) any license bond with a limit of \$50,000 or less.

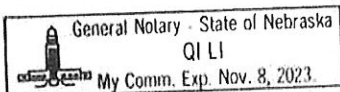
In Witness Whereof NATIONAL INDEMNITY COMPANY has caused its official seal to be hereunder affixed, and these presents to be signed by its Senior Vice President this 22nd day of April, 2021.

NATIONAL INDEMNITY COMPANY

BY Philip M. Wolf
(Name) Philip M. Wolf
(Title) Senior Vice President

STATE OF NEBRASKA }
COUNTY OF DOUGLAS } ss.:

On this 22nd day of April, 2021, before me, a Notary Public, personally appeared Philip M. Wolf, who being by me duly sworn, acknowledged that he signed the above Power of Attorney as Senior Vice President of said NATIONAL INDEMNITY COMPANY and acknowledged said instrument to be the voluntary act and deed of said corporation.



Z. L.

Notary Public, Nebraska

- 1. THIS POWER DOES NOT AUTHORIZE EXECUTION OF BONDS OF NE EXEAT OR ANY GUARANTEE FOR FAILURE TO PROVIDE PAYMENTS OF ALIMONY SUPPORT OR WAGE LAW CLAIMS, OR BONDS FOR CRIMINAL APPEARANCE.
- 2. THIS POWER DOES NOT AUTHORIZE THE EXECUTION OF BONDS FOR LOAN GUARANTEES.

NI-1180bb (08/18)

This Power Can Only Be Used in The State of: INDIANA
This Power Can Only Be Used For The Following Oblige(s): HAMILTON COUNTY BOARD OF COMMISSIONERS
Bond Title or Description: PERFORMANCE: LEGAL DRAIN-STORMWATER DRAIN & STORM SEWER SYSTEM, MAPLE RUN SEC. 5, SHERIDAN, IN
Principal or case reference: CLAYTON PROPERTIES GROUP, INC. DBA ARBOR HOMES

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

***Thistlethwaite Drain, Aaron Rawlings Arm
Maple Run Section 5 Arm***

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Thistlethwaite Drain, Aaron Rawlings Arm, Maple Run Section 5 Arm** on **July 26, 2021** at **9:15 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

**Thistlethwaite Drain, Aaron Rawlings Arm,
Maple Run Section 5 Arm**

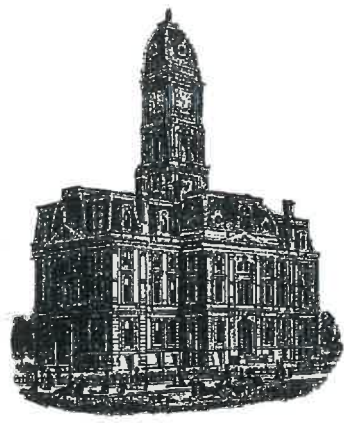
NOTICE

Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **July 26, 2021** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY



SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

September 8, 2022

Re: Thistlewaite Drain: Aaron Rawlings Arm, Maple Run Section 5 Arm

Attached are as-built, certificate of completion & compliance, and other information for Maple Run Section 5. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated June 8, 2021. The report was approved by the Board at the hearing held July 26, 2021. (See Drainage Board Minutes Book 20, Pages 104-105) The changes are as follows: the 66" RCP was shortened from 689 feet to 688 feet. The open ditch was lengthened from 600 to 627 feet. The length of the drain due to the changes described above is now **1315 feet**.


The non-enforcement was approved by the Board at its meeting on July 26, 2021 and recorded under instrument #2022036997.

The following sureties were guaranteed by National Indemnity Company and released by the Board on its September 26, 2022, meeting.

Bond-LC: 70NGP185018
Amount: \$340,929.60
For: Storm Sewers & SSD
Issue Date: 03-08-2021

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenon C. Ward, CFM
Hamilton County Surveyor

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Maple Run, Section 5

I hereby certify that:

1. I am a Professional Land Surveyor in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally supervised the completion of the drainage facilities as-builts for the above referenced subdivision and have given the as-builts my review.
4. The drainage facilities within the above referenced subdivision, to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.

Signature:  Date: 7/20/2022

Type or Print Name: Dennis D. Olmstead

Business Address: Stoepelwerth & Associates, Inc.
7965 East 106th Street, Fishers, Indiana 46038

Telephone Number: (317) 849-5935

SEAL

INDIANA REGISTRATION NUMBER

900012

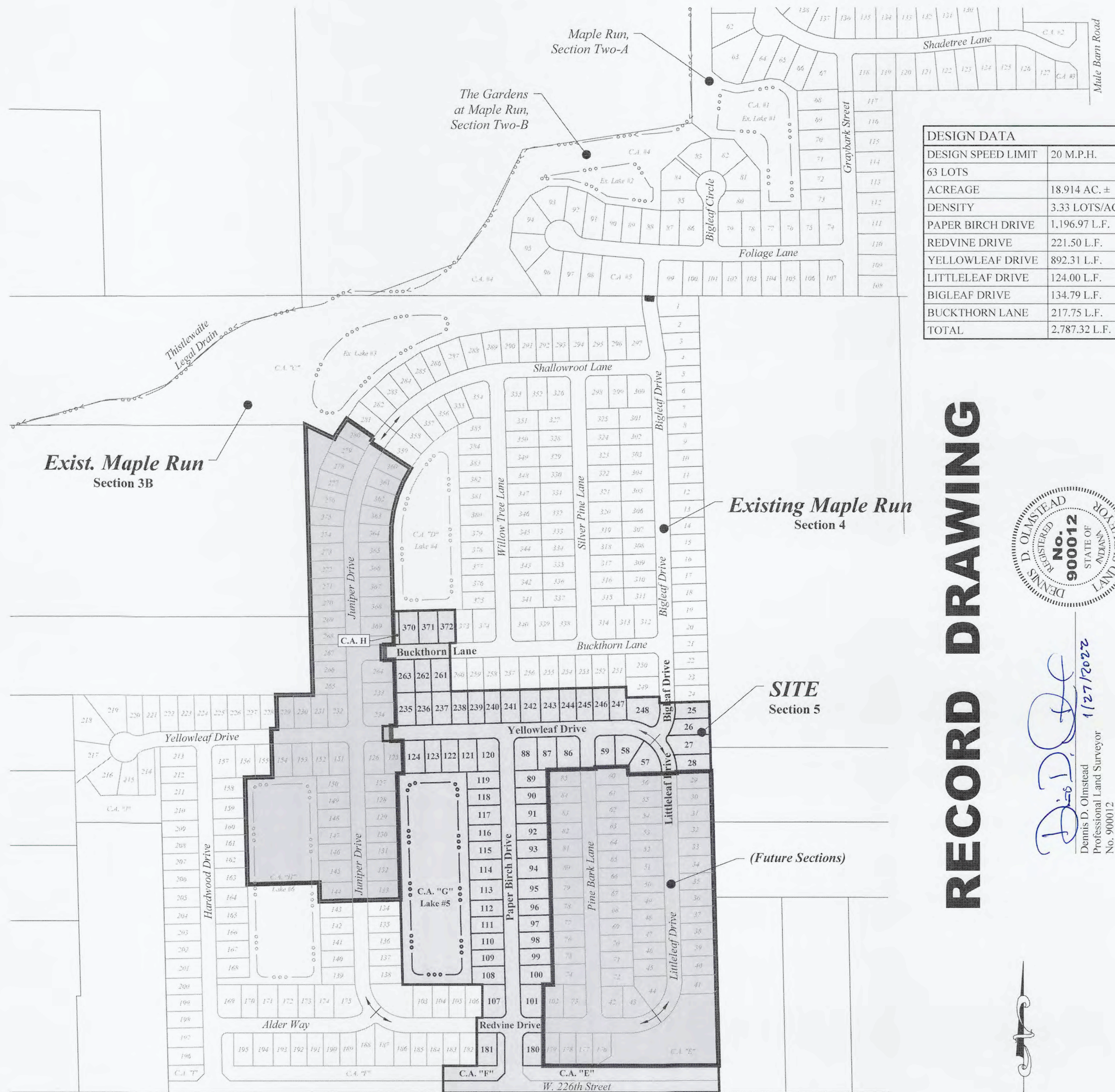
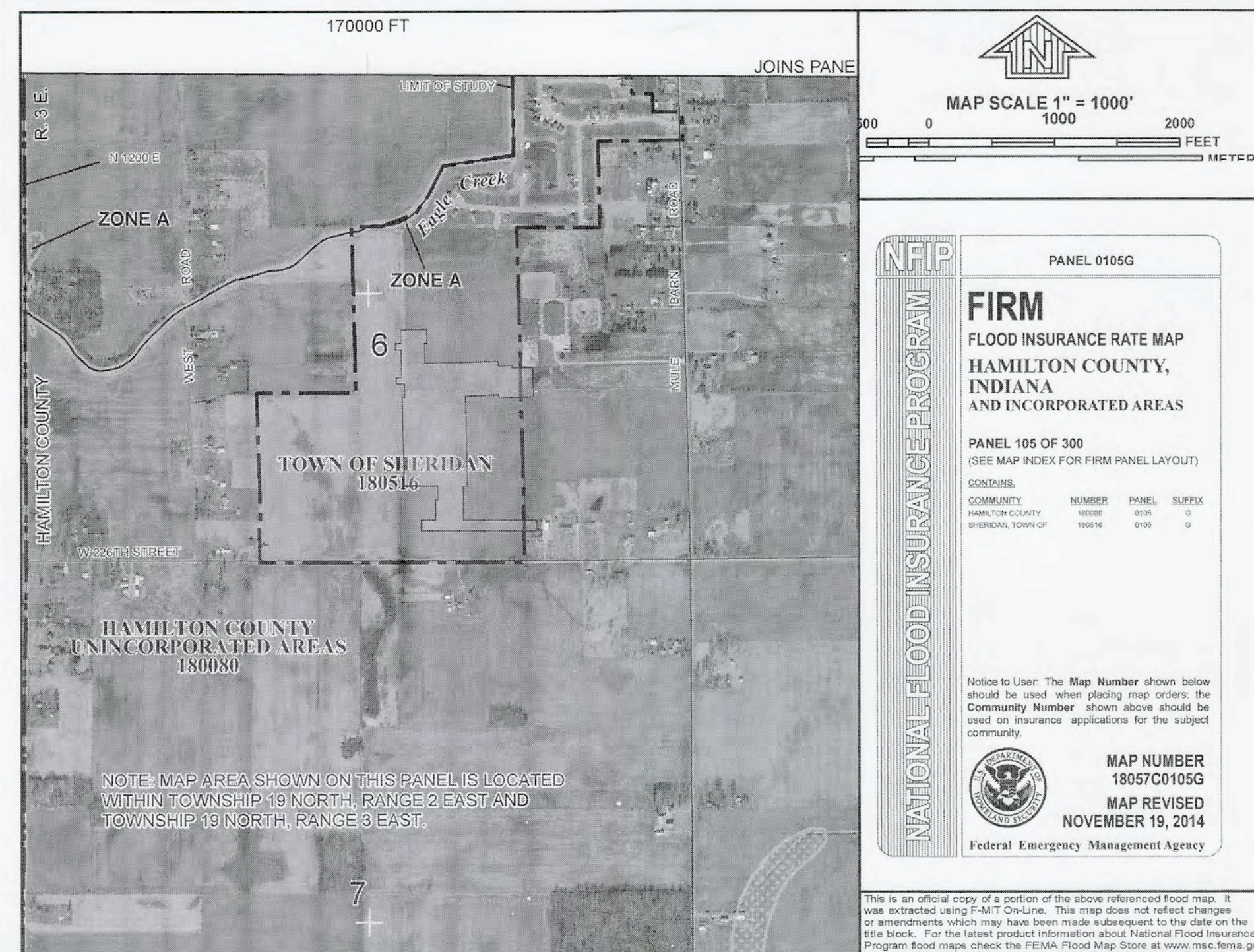
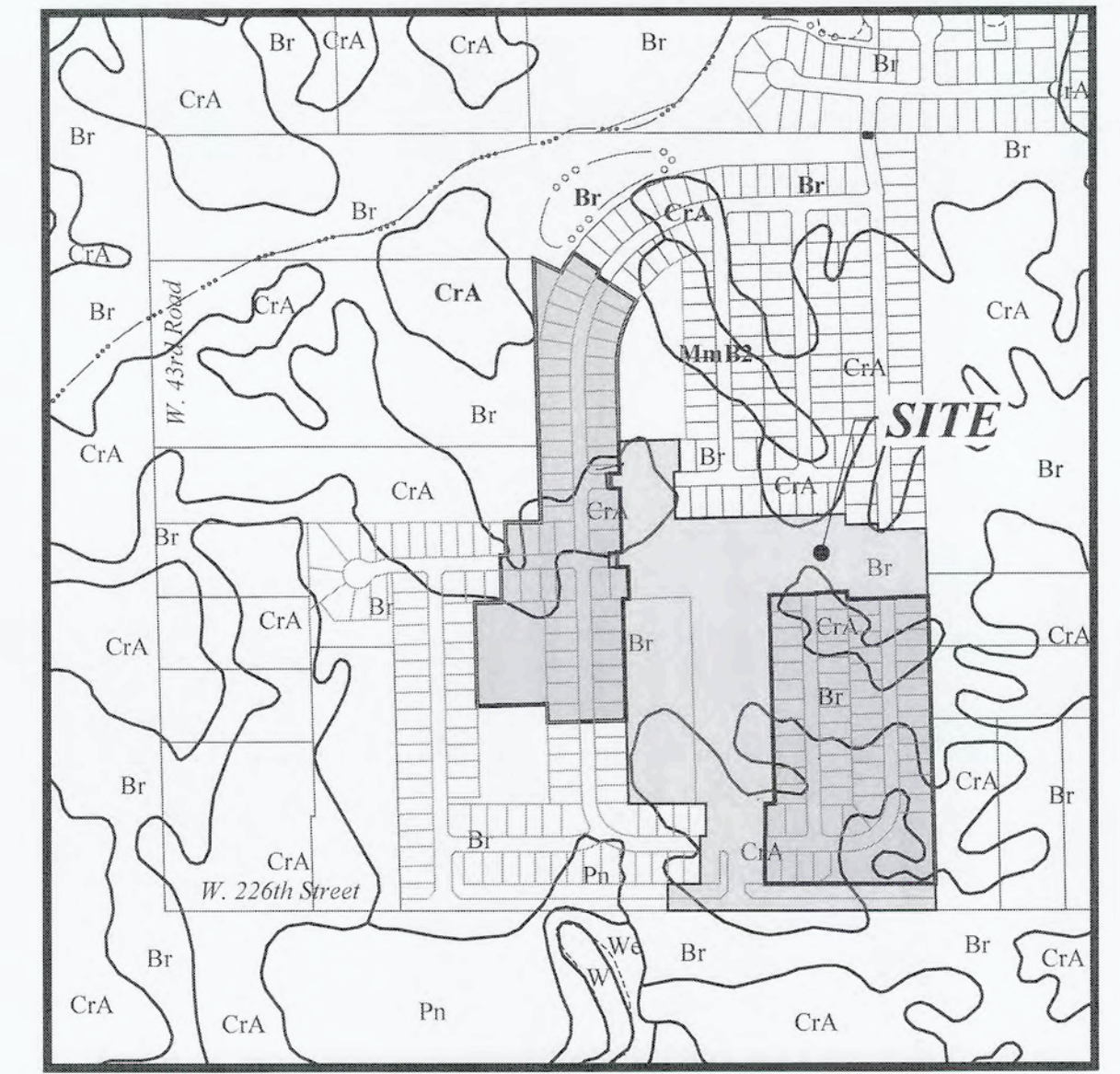
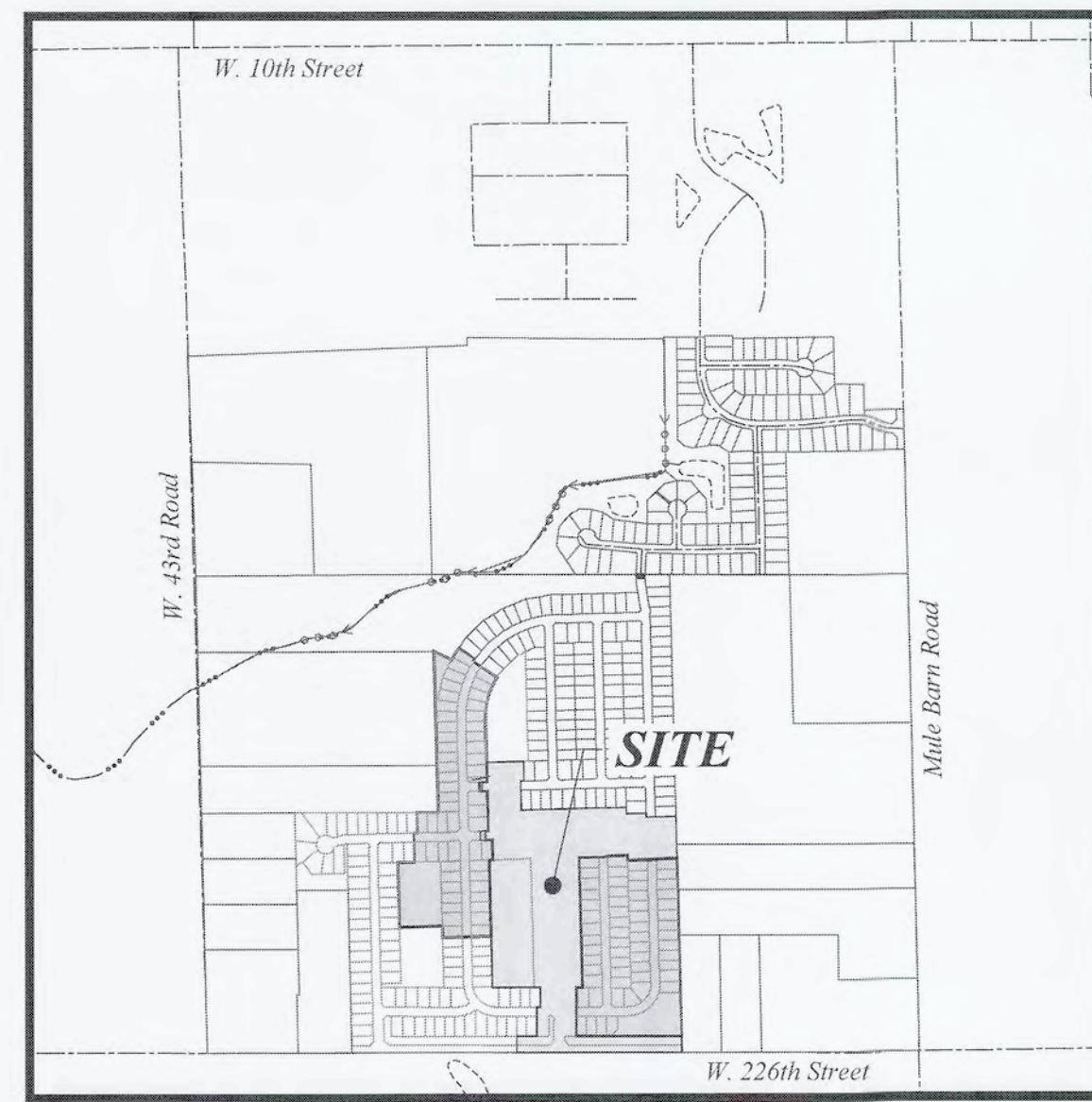


MAPLE RUN Section 5

Developed by:
Arbor Homes
9225 Harrison Park Court
Indianapolis, Indiana 46216
Contact: **Sean Downey**
Phone: **(317) 429-9653**

This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.

Entry Date: 2022
Entered By: SLM



DESIGN DATA

DESIGN SPEED LIMIT	20 M.P.H.
63 LOTS	
ACREAGE	18,914 AC. ±
DENSITY	3.33 LOTS/ACRE
PAPER BIRCH DRIVE	1,196.97 L.F.
REDVINE DRIVE	221.50 L.F.
YELLOWLEAF DRIVE	892.31 L.F.
LITTLELEAF DRIVE	124.00 L.F.
BIGLEAF DRIVE	134.79 L.F.
BUCKTHORN LANE	217.75 L.F.
TOTAL	2,787.32 L.F.

SOILS LEGEND

Map Unit: Br - Brookston silty clay loam
This poorly drained soil has a seasonal high water table above the surface or within 1.0 ft. and is in depressions. Slopes are 0 to 2 percent. The native vegetation is water tolerant grasses and hardwoods. The surface layer is silty clay loam and has moderate to high organic matter content (2.0 to 5.0 percent). Permeability is moderately slow (0.2 to 0.6 in/hr) in the most restrictive layer above 60 inches. Available water capacity is high (1.0 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 6.1 to 7.3. This soil is hydric. Wetness is a management concern for crop production. This soil responds well to tile drainage.

Map Unit: CrA - Crosby silt loam, 0 to 2 percent slopes
This is a somewhat poorly drained soil and has a seasonal high water table at 0.5 to 2.0 ft. and is on rises on uplands. Slopes are 0 to 2 percent. The native vegetation is hardwoods. The surface layer is silt loam and has moderate organic matter content (1.0 to 3.0 percent). Permeability is very slow (<0.06 in/hr) in the most restrictive layer above 60 inches. Available water capacity is moderate (6.2 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 5.1 to 6.0. Droughtiness and wetness are management concerns for crop production. This soil responds well to tile drainage.

Map Unit: MmB2 - Miami silt loam, 2 to 6 percent slopes, eroded
This moderately well drained soil has a seasonal high water table at 2.0 to 3.5 ft. and is on sideslopes and rises on uplands. Slopes are 2 to 6 percent. The native vegetation is hardwoods. The surface layer is silt loam and has moderately low organic matter content (1.0 to 2.0 percent). Permeability is very slow (<0.06 in/hr) in the most restrictive layer above 60 inches. Available water capacity is low (5.9 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 5.1 to 6.0. Droughtiness and water erosion are management concerns for crop production.

MAPLE RUN, SECTION 5

I, the undersigned Registered Land Surveyor hereby certify that the included plat correctly represents a subdivision of a part of the West Half of the Southeast Quarter of Section 6, Township 19 North, Range 03 East, Adams Township, Hamilton County, Indiana more particularly described as follows:

Beginning at the Southeast corner of said Half-Quarter Section; thence North 89 degrees 57 minutes 48 seconds West, along the South line of said Half-Quarter Section, a distance of 921.92 feet; thence North 00 degrees 02 minutes 12 seconds East a distance of 89.74 feet; thence South 89 degrees 58 minutes 08 seconds East a distance of 112.50 feet; thence North 00 degrees 01 minute 52 seconds East a distance of 160.00 feet; thence North 01 degree 23 minutes 46 seconds East a distance of 18.97 feet; thence North 00 degrees 01 minute 52 seconds East a distance of 110.00 feet; thence North 89 degrees 58 minutes 08 seconds West a distance of 266.34 feet; thence North 01 degree 23 minutes 46 seconds West a distance of 702.09 feet; thence North 88 degrees 36 minutes 14 seconds East a distance of 20.50 feet; thence North 01 degree 23 minutes 46 seconds West a distance of 110.00 feet; thence South 88 degrees 36 minutes 14 seconds East a distance of 37.48 feet; thence North 01 degree 23 minutes 46 seconds West a distance of 50.00 feet; thence North 88 degrees 36 minutes 14 seconds East a distance of 17.23 feet; thence North 01 degree 23 minutes 46 seconds West a distance of 220.00 feet; thence South 88 degrees 36 minutes 14 seconds West a distance of 31.25 feet; thence North 01 degree 23 minutes 46 seconds West a distance of 50.00 feet; thence North 88 degrees 36 minutes 14 seconds East a distance of 31.00 feet; thence North 01 degree 23 minutes 46 seconds West a distance of 110.00 feet; thence North 88 degrees 36 minutes 14 seconds East a distance of 207.00 feet; thence South 01 degree 23 minutes 46 seconds East a distance of 110.00 feet; thence South 88 degrees 36 minutes 14 seconds West a distance of 20.25 feet; thence South 01 degree 23 minutes 46 seconds East a distance of 160.00 feet; thence North 88 degrees 36 minutes 14 seconds East a distance of 585.50 feet; thence South 01 degree 23 minutes 46 seconds East a distance of 35.00 feet; thence North 88 degrees 36 minutes 14 seconds East a distance of 110.25 feet; thence South 01 degree 23 minutes 46 seconds East a distance of 20.89 feet; thence North 88 degrees 36 minutes 14 seconds East a distance of 165.00 feet to the East line of the aforementioned Half-Quarter Section; thence South 01 degree 23 minutes 46 seconds East, along said East line, a distance of 232.50 feet; thence South 88 degrees 36 minutes 14 seconds West a distance of 118.00 feet; thence South 01 degree 23 minutes 46 seconds East a distance of 2.79 feet; thence South 88 degrees 36 minutes 14 seconds West a distance of 160.00 feet; thence North 04 degrees 49 minutes 51 seconds West a distance of 26.23 feet; thence South 88 degrees 36 minutes 14 seconds West a distance of 108.43 feet; thence South 01 degree 23 minutes 46 seconds East a distance of 5.00 feet; thence South 88 degrees 36 minutes 14 seconds West a distance of 160.00 feet; thence South 01 degree 23 minutes 46 seconds East a distance of 714.61 feet; thence North 89 degrees 58 minutes 08 seconds West a distance of 32.79 feet; thence South 00 degrees 01 minute 52 seconds West a distance of 110.00 feet; thence North 89 degrees 58 minutes 08 seconds West a distance of 0.99 feet; thence South 00 degrees 01 minute 52 seconds West a distance of 160.00 feet; thence South 89 degrees 58 minutes 08 seconds East a distance of 585.68 feet to the East line of the aforementioned Half-Quarter Section; thence South 01 degree 23 minutes 46 seconds East, along said East line, a distance of 89.86 feet to the Point of Beginning, Containing 18,914 acres, more or less.

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

PLANS PREPARED BY:
STOEPPELWERTH & ASSOCIATES, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
7965 E. 106th STREET, FISHERS, INDIANA 46038
PHONE: (317) 849-5935
FAX: (317) 849-5942
CONTACT: BRIAN K. ROBINSON
EMAIL: brobinson@stoepfelwerth.com

PLANS CERTIFIED BY:

David J. Stoepfelwerth 10/26/2020
DAVID J. STOEPPELWERTH
PROFESSIONAL ENGINEER



FLOOD STATEMENT
THIS IS TO CERTIFY THAT NO GRADED PORTION OF THE SUBJECT PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE "A" AS SAID TRACT PLOTS BY SCALE ON COMMUNITY PANEL 18057C0105G OF THE FLOOD INSURANCE RATE MAPS DATED NOVEMBER 19, 2014.

INDEX

SHT. NO.	COVER SHEET	DESCRIPTION
C001	COVER SHEET	
C100 - C101	TOPOGRAPHICAL SURVEY/DEMOLITION PLAN	
C200 - C207	SITE DEVELOPMENT PLAN OFFSITE GRADING PLAN EMERGENCY FLOOD ROUTE PLAN - INTERIM EMERGENCY FLOOD ROUTE PLAN - FUTURE	
C300 - C310	INITIAL STORM WATER POLLUTION & PREVENTION PLAN TEMPORARY STORM WATER POLLUTION & PREVENTION PLAN PERMANENT STORM WATER POLLUTION & PREVENTION PLAN STORM WATER POLLUTION & PREVENTION SPECIFICATIONS STORM WATER POLLUTION & PREVENTION DETAILS	
C400 - C412	STREET PLAN & PROFILES OFFSITE STREET PLAN & PROFILES ENTRANCE DETAIL INTERSECTION DETAIL MAINTENANCE OF TRAFFIC PLAN / STRIPING PLAN TRAFFIC CONTROL PLAN	
C500 - C502	SANITARY PLAN & PROFILES	
C600 - C606	STORM PLAN & PROFILES STORM SEWER STRUCTURE DATA TABLE SUB-SURFACE DRAIN PLAN	
C700 - C705	WATER PLAN WATER PLAN & PROFILES	
C800 - C809	CONSTRUCTION SPECIFICATIONS & DETAILS	

UTILITY CONTACTS

AT&T - Engineering
240 North Meridian Street
2nd Floor, Room 280
Indianapolis, Indiana 46204
Contact: Ryan McManus
Ph: (317) 610-5437

Boone REMC
1207 Indianapolis Avenue
Lebanon, Indiana 46052
Contact: Jerry Lasley
Ph: (765) 483-2495
(765) 894-1084

Comcast Cable
5330 East 65th Street
Indianapolis, Indiana 46220
Contact: Matt Stringer
Ph: (317) 774-3384

Vectren Energy
16000 Allisonville Road
Noblesville, Indiana 46060
Contact: Chad R. Miller
Ph: (317) 776-5590

Water
Indiana American Water
1700 East Superior Street
Kokomo, Indiana 46901
Contact: Ryan Smith
Ph: (765) 454-6985

Sanitary Sewer
Indiana American Water
153 North Emerson Avenue
Greenwood, Indiana 46143
Contact: Tracy White
Ph: (317) 885-2426

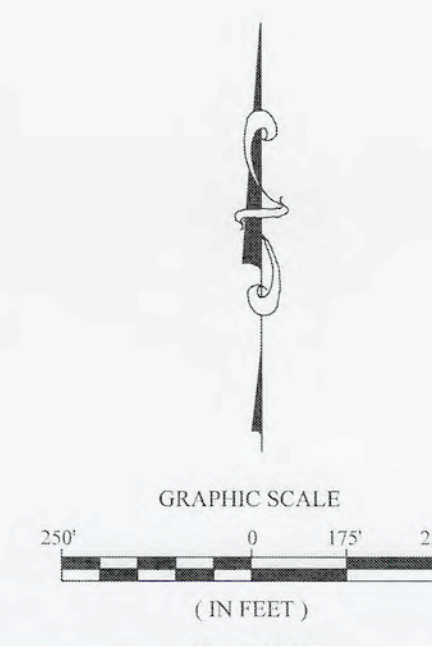
REVISIONS

SHT. NO.	DESCRIPTION	DATE	BY
ALL	REVISED PLANS PER CLIENT COMMENTS	11/10/2020	DSM
C700-C705	REVISED PER IAW COMMENTS	12/9/2020	DSM
C203, C204A, C301A, C303A, & C405A	REVISED ADDED ADDITIONAL OFFSITE GRADING	8/20/2021	ADG
ALL	AS BUILTS	1/25/2022	MJE

RECORD DRAWING

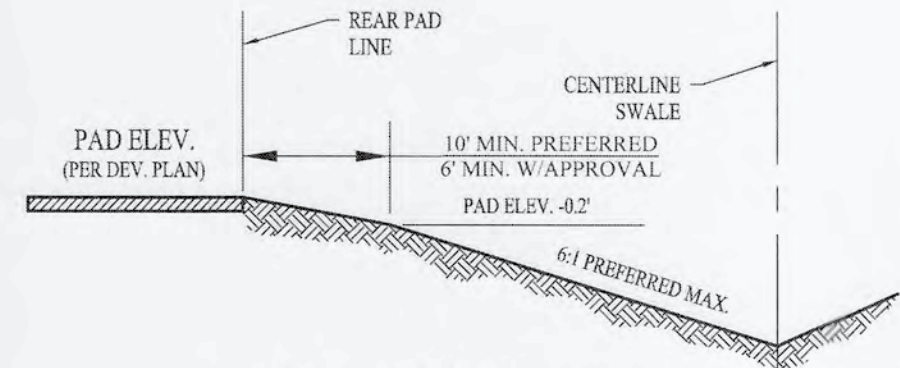
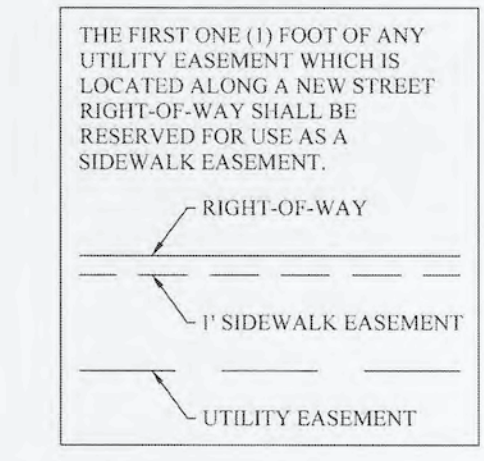
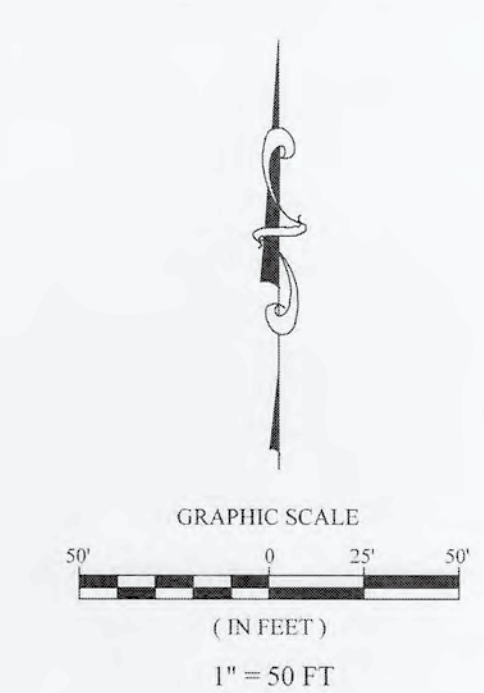
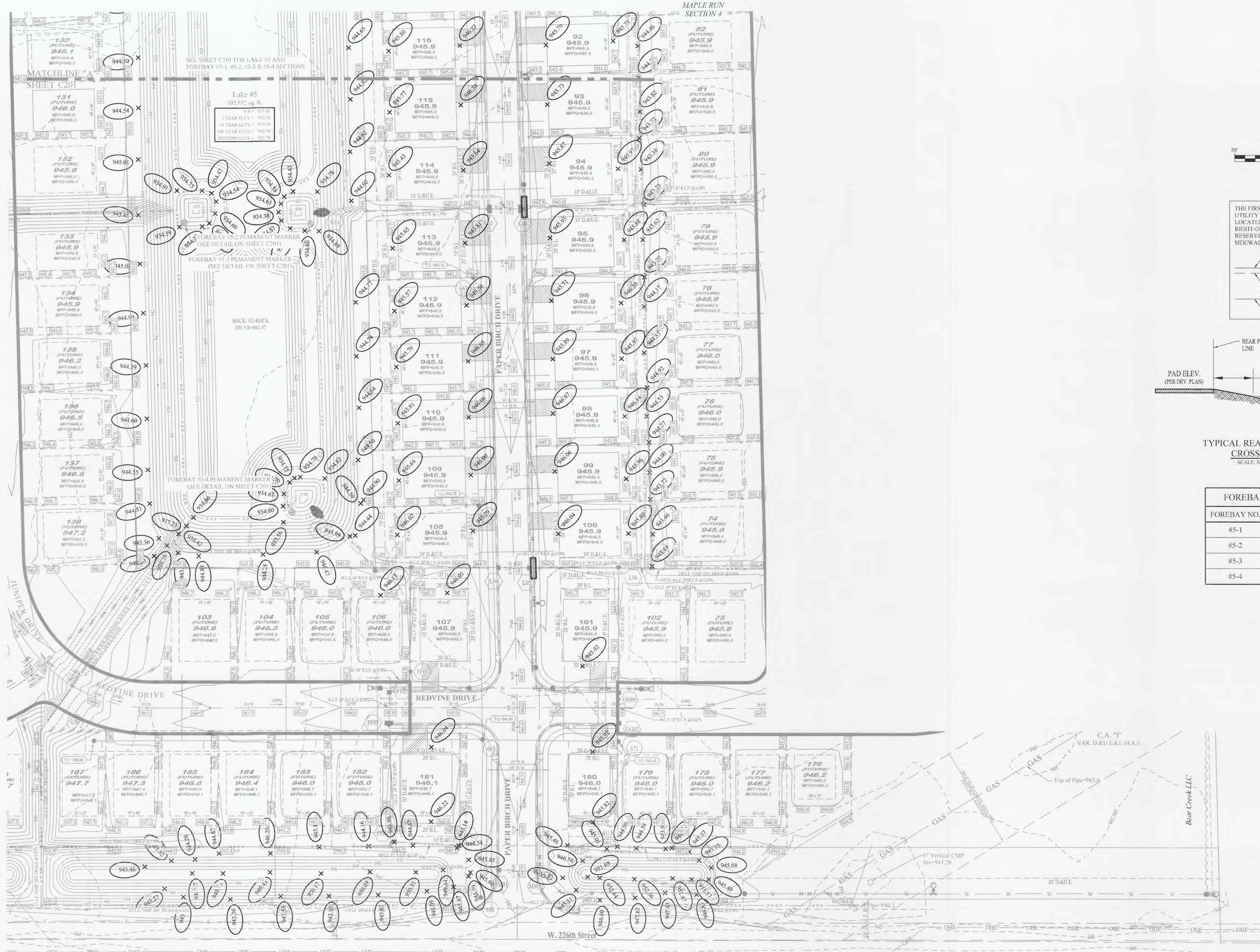


Dennis D. Olmstead
Professional Land Surveyor
No. 900017



S & A JOB No. 51510ARB-S5

File Name: S:\1510ARB-SS\DWG\C200 Site Development Plan.dwg - C200
 January 28, 2022 8:42:42 AM / mevans
 Modified / By:
 Plotted / By:



TYPICAL REAR YARD GRADE CROSS SECTION
 SCALE: NOT TO SCALE

FOREBAY NO.	NORTHING	EASTING
#5-1	1773889.75	170332.47
#5-2	1773574.28	170241.96
#5-3	1773573.03	170365.37
#5-4	1773293.34	170347.04

LEGEND

- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING CONTOUR
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- PROPOSED SWALE
- PROPOSED LAKE NORMAL POOL ELEVATION
- PROPOSED GRADE ELEVATION
- PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)
- PROPOSED 6" SUB-SURFACE DRAIN (WHERE SHOWN ON PLANS)

10 940.2
 MFF=940.2
 MFG=940.4

MFF=940.0

LOT NUMBER
 PAD GRADE
 MINIMUM FINISH FLOOR ELEVATION
 MINIMUM FLOOD PROTECTION GRADE

MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE FOLLOWING CRITERIA:
 1. 12" (1.0') ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST
 2. 7" (0.6') ABOVE THE MFG

MINIMUM FLOOD PROTECTION GRADE (LAKE / FLOOD PROTECTION)

B.L. BUILDING SETBACK LINE
 M.E. MATCH EXISTING
 H.P. HIGH POINT
 L.P. LOW POINT
 P.C.C. POINT OF COMPOUND CURVATURE
 P.V.I. POINT OF VERTICAL INTERSECTION
 GRD. CHG. GRADE CHANGE

- NOTES**
- SEE LAKE #5 & FOREBAY #5-1, #5-2, #5-3, & #5-4 CROSS SECTION ("A-A") AND SPILLWAY DETAIL ON SHEET C201.
 - SEE SHEET C202 & C203 FOR OFFSITE GRADING PLAN.
 - ALL EXISTING OFF-SITE DRAIN TILES THAT ARE ENCOUNTERED SHALL BE TIED INTO THE PROPOSED STORM SYSTEM (WHERE APPLICABLE) WITH A POSITIVE OUTFLOW.

UTILITY CROSSINGS

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

BENCHMARK DATA

ORIGINATING BENCHMARK
 BENCHMARK ELEVATIONS FOR THIS PROJECT WERE DERIVED USING THE NATIONAL GEODETIC SURVEY ONLINE POSITIONING USER SERVICE (O.P.U.S.) AND ARE REFERENCED TO THE NAVD '88 DATUM.

SITE TBMS
 A HARRISON MONUMENT IN THE APPROXIMATE CENTERLINE OF 226TH STREET APPROXIMATELY 518 FEET EAST OF THE SOUTHWEST CORNER OF THE SURVEYED SITE (MONUMENT MARKS THE SOUTH 1/4 CORNER OF SECTION 6-T19N-R3E).
 ELEVATION = 943.83 (NAVD 88)
 A ROAD NAIL AT THE APPROXIMATE CENTERLINE INTERSECTION OF FOLIAGE LANE AND BIGLEAF DRIVE.
 ELEVATION = 944.20 (NAVD 88)

- EARTHWORK NOTES**
- EXCAVATION**
 - Excavated material that is suitable may be used for fills. All unsuitable material and all surplus excavated material not required shall be removed from the site.
 - Provide and place any additional fill material from offsite as may be necessary to produce the grades required on plans. Fill obtained from offsite shall be of quality as specified for fills herein and the source approved by the Developer. It will be the responsibility of the Contractor for any costs for fill needed.
 - REMOVAL OF TREES**
 - All trees and stumps shall be removed from areas to be occupied by a road surface or structure area. Trees and stumps shall not be buried on site.
 - PROTECTION OF TREES**
 - The Contractor shall, at the direction of the Developer, endeavor to save and protect trees of value and worth which do not impair construction of improvements as designed.
 - In the event cut or fill exceeds 0.5 feet over the root area, the Developer shall be consulted with respect to protective measure to be taken, if any, to preserve such trees.
 - REMOVAL OF TOPSOIL**
 - All topsoil shall be removed from all areas beneath future pavements or building. Topsoil removal shall be to a minimum depth of six inches or to the depth indicated in the geotechnical report provided by the Developer to be excavated or filled. Topsoil should be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
 - UTILITIES**
 - Rules and regulation governing the respective utility shall be observed in executing all work under this section.
 - It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 811.
 - SITE GRADING**
 - The Contractor shall do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
 - The tolerance for paved areas shall not exceed 0.05 feet above established subgrade. All other areas shall not exceed 0.05 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade.
 - The Engineer shall be notified when the Contractor has reached the tolerance as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove equipment from the site until the Engineer has verified that the job meets the above tolerance.

STOEPPELWERTH
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA

SITE DEVELOPMENT PLAN
 MAPLE RUN SECTION 5
 SHERIDAN, ADAMS TOWNSHIP
 HAMILTON COUNTY, INDIANA

DRAWN BY: ADG
 CHECKED BY: BKR
 SHEET NO. **C200**
 S.A. JOB NO. 51510ARB-55

DATE: 01/28/22
 REVISIONS:

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A REFRACTION OR SURVEY OR A SURVEY FOR LOCATION REPORT.

CERTIFIED: 10/26/2020
 David J. Stoepelwerth

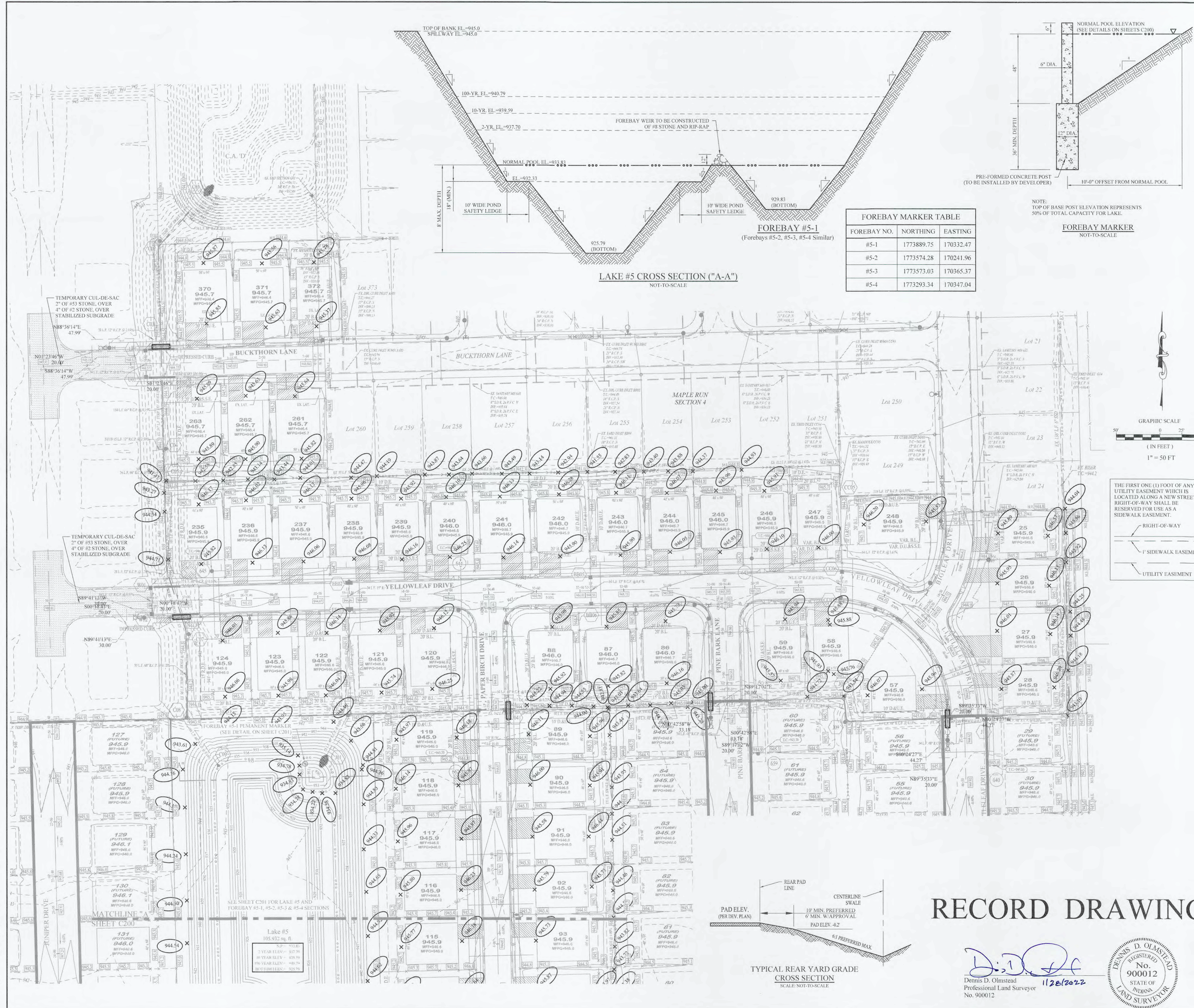
7965 East 106th Street, Fishers, IN 46038-2905
 phone: 317.849.9295 fax: 317.849.9292

RECORD DRAWING

Dennis D. Olmstead
 Professional Land Surveyor
 No. 900012
 1/28/2022



File Name: S:\1515\048\SRB\SEDI\MC200_Site_Development_Plan.dwg - C201
 Modified By: January 28, 2022 8:42:42 AM / meagan
 Plotted By: January 28, 2022 8:46:24 AM / Michael Evans



LEGEND

- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING CONTOUR
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED CONTOUR
- PROPOSED WATER LINE
- PROPOSED SWALE
- PROPOSED LAKE NORMAL POOL ELEVATION
- PROPOSED GRADE ELEVATION
- PROPOSED 5' SIDEWALK (BY HOME BUILDER)
- PROPOSED 6" SUB-SURFACE DRAIN (WHERE SHOWN ON PLANS)
- PROPOSED CURB w/ 6" UNDERDRAIN
- PROPOSED 6" SUB-SURFACE DRAIN (WHERE SHOWN ON PLANS)

10
940.2
 MFF#940.9
 MFF#940.4

MFF#940.0

LOT NUMBER
 PAD GRADE
 MINIMUM FINISH FLOOR ELEVATION
 MINIMUM FLOOD PROTECTION GRADE

MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE FOLLOWING CRITERIA:
 1. 12" (1.0') ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST.
 2. 7" (0.6') ABOVE THE MFG

MINIMUM FLOOD PROTECTION GRADE (LAKE / FLOOD PROTECTION)

B.L. BUILDING SETBACK LINE
 M.E. MATCH EXISTING
 H.P. HIGH POINT
 L.P. LOW POINT
 P.C.C. POINT OF COMPOUND CURVATURE
 P.V.I. POINT OF VERTICAL INTERSECTION
 GRD. CHG. GRADE CHANGE

- NOTES**
- SEE LAKE #5 & FOREBAY #5-1, #5-2, #5-3, #5-4 CROSS SECTION ("A-A") AND SPILLWAY DETAIL ON SHEET C201.
 - SEE SHEET C202 & C203 FOR OFFSITE GRADING PLAN.
 - ALL EXISTING OFF-SITE DRAIN TILES THAT ARE ENCOUNTERED SHALL BE TIED INTO THE PROPOSED STORM SYSTEM (WHERE APPLICABLE) WITH A POSITIVE OUTFLOW.

UTILITY CROSSINGS

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ON-SITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

BENCHMARK DATA

ORIGINATING BENCHMARK
 BENCHMARK ELEVATIONS FOR THIS PROJECT WERE DERIVED USING THE NATIONAL GEODETIC SURVEY ONLINE POSITIONING USER SERVICE (O.P.U.S.) AND ARE REFERENCED TO THE NAVD '83 DATUM.

SITE TIES

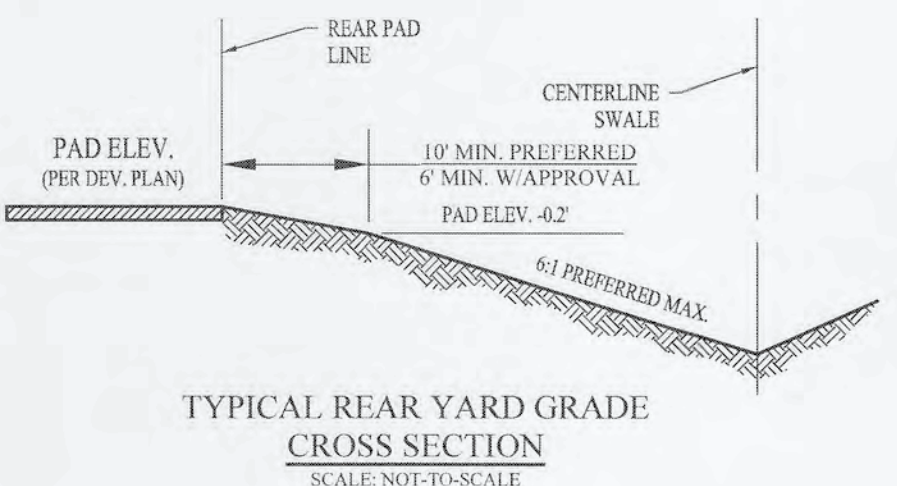
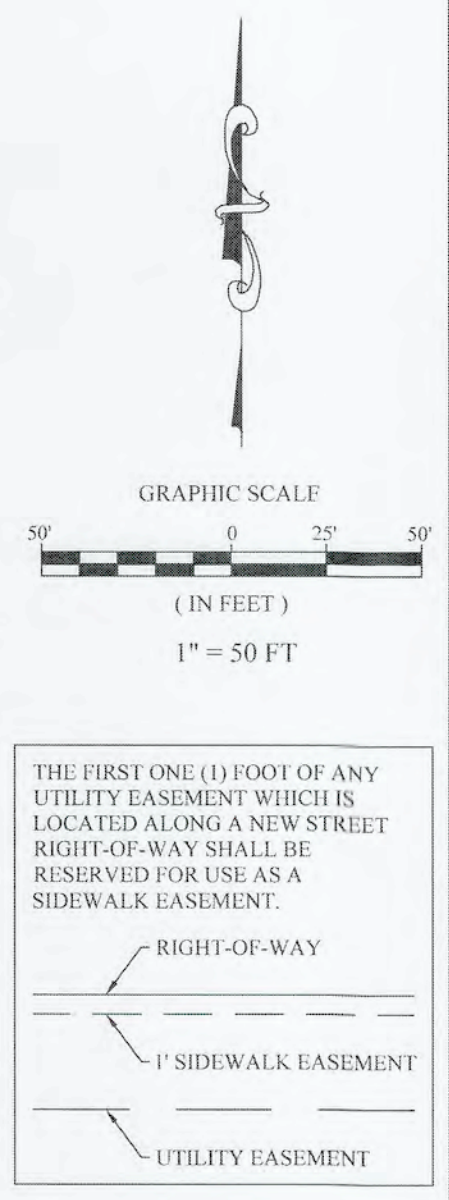
A HARRISON MONUMENT IN THE APPROXIMATE CENTERLINE OF 226TH STREET APPROXIMATELY 618 FEET EAST OF THE SOUTHWEST CORNER OF THE SURVEYED SITE MONUMENT MARKS THE SOUTH 1/4 CORNER OF SECTION 6-T19N-R3E.

ELEVATION = 943.83 (NAVD 88)

A ROAD NAIL AT THE APPROXIMATE CENTERLINE INTERSECTION OF FOLIAGE LANE AND BIGLEAF DRIVE.

ELEVATION = 944.20 (NAVD 88)

- EARTHWORK NOTES**
- EXCAVATION**
 - Excavated material that is suitable may be used for fills. All unsuitable material and all surplus excavated material not required shall be removed from the site.
 - Provide and place any additional fill material from offsite as may be necessary to produce the grades required on plans. Fill obtained from offsite shall be of quality as specified for fills herein and the source approved by the Developer. It will be the responsibility of the Contractor for any costs for fill needed.
 - REMOVAL OF TREES**
 - All trees and stumps shall be removed from areas to be occupied by a road surface or structure. Trees and stumps shall not be buried on site.
 - PROTECTION OF TREES**
 - The Contractor shall, at the direction of the Developer, endeavor to save and protect trees of value and worth which do not impair construction of improvements as designed.
 - In the event cut or fill exceeds 0.5 feet over the root area, the Developer shall be consulted with respect to protective measure to be taken, if any, to preserve such trees.
 - REMOVAL OF TOPSOIL**
 - All topsoil shall be removed from all areas beneath future pavements or building. Topsoil removal shall be to a minimum depth of 6 inches or to the depth indicated in the geotechnical report provided by the Developer to be excavated or filled. Topsoil should be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
 - UTILITIES**
 - Rules and regulation governing the respective utility shall be observed in executing all work under this section.
 - It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 811.
 - SITE GRADING**
 - The Contractor shall do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
 - The tolerance for paved areas shall not exceed 0.05 feet above established subgrade. All other areas shall not exceed 0.05 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade.
 - The Engineer shall be notified when the Contractor has reached the tolerance as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove equipment from the site until the Engineer has verified that the job meets the above tolerance.



RECORD DRAWING

Dennis D. Olmstead
 Professional Land Surveyor
 No. 900012
 1/28/2022



STOEPPELWERTH
 ALWAYS ON
 7905 East 10th Street, Fishers, IN 46038-2505
 Phone: 317.849.5925 Fax: 317.849.5942

SITE DEVELOPMENT PLAN
MAPLE RUN SECTION 5
 SHERIDAN, ADAMS TOWNSHIP
 HAMILTON COUNTY, INDIANA

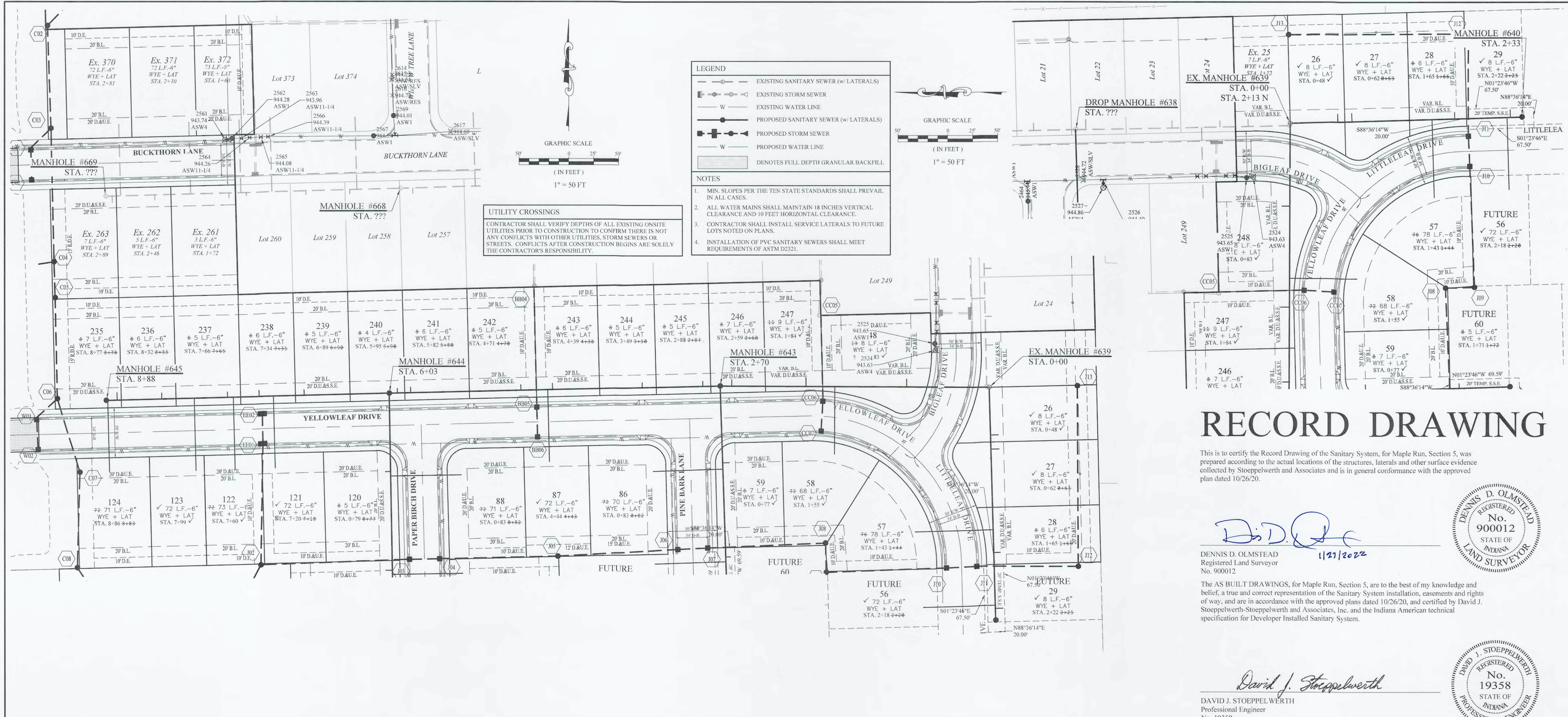
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 SHEET NO. **C201**
 S & A JOB NO. 51510ARB-55

DATE: 01/28/22
 MARK: [initials]
 REVISIONS: [table]

REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA
 D. J. Stoppelwerth

S:\51510ARB-S50DWG\C500 Sanitary Sewer Plan & Profile.dwg - C500
 January 25, 2022 3:48:16 PM / mevens
 January 25, 2022 3:49:04 PM / Michael Evans

File Name:
 Modified / By:
 Plotted / By:



RECORD DRAWING

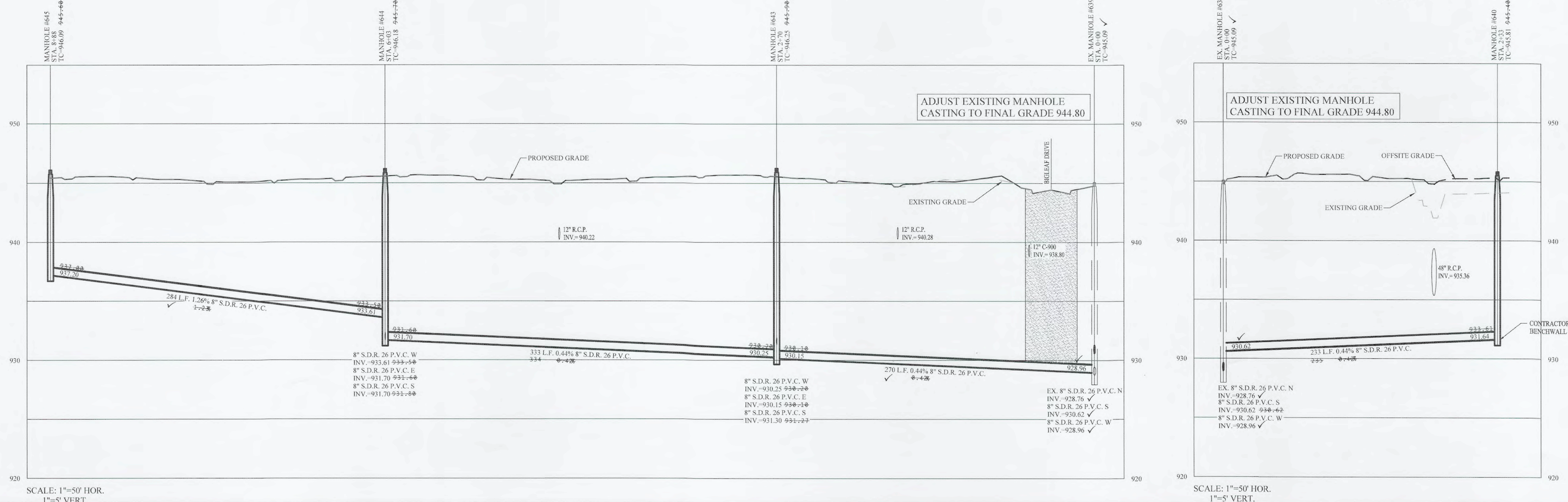
This is to certify the Record Drawing of the Sanitary System, for Maple Run, Section 5, was prepared according to the actual locations of the structures, laterals and other surface evidence collected by Stoepelwerth and Associates and is in general conformance with the approved plan dated 10/26/20.

D.D.O.
 DENNIS D. OLMSTEAD
 Registered Land Surveyor
 No. 900012
 1/21/2022



The AS BUILT DRAWINGS, for Maple Run, Section 5, are to the best of my knowledge and belief, a true and correct representation of the Sanitary System installation, easements and rights of way, and are in accordance with the approved plans dated 10/26/20, and certified by David J. Stoepelwerth-Stoepelwerth and Associates, Inc. and the Indiana American technical specification for Developer Installed Sanitary System.

David J. Stoepelwerth
 DAVID J. STOEPPELWERTH
 Professional Engineer
 No. 19358



STOEPPELWERTH
 ALWAYS ON
 7905 East 106th Street, Fishers, IN 46038-2505
 phone: 317.845.5925 fax: 317.845.5942

HAMILTON COUNTY, INDIANA
 SHERIDAN, ADAMS TOWNSHIP

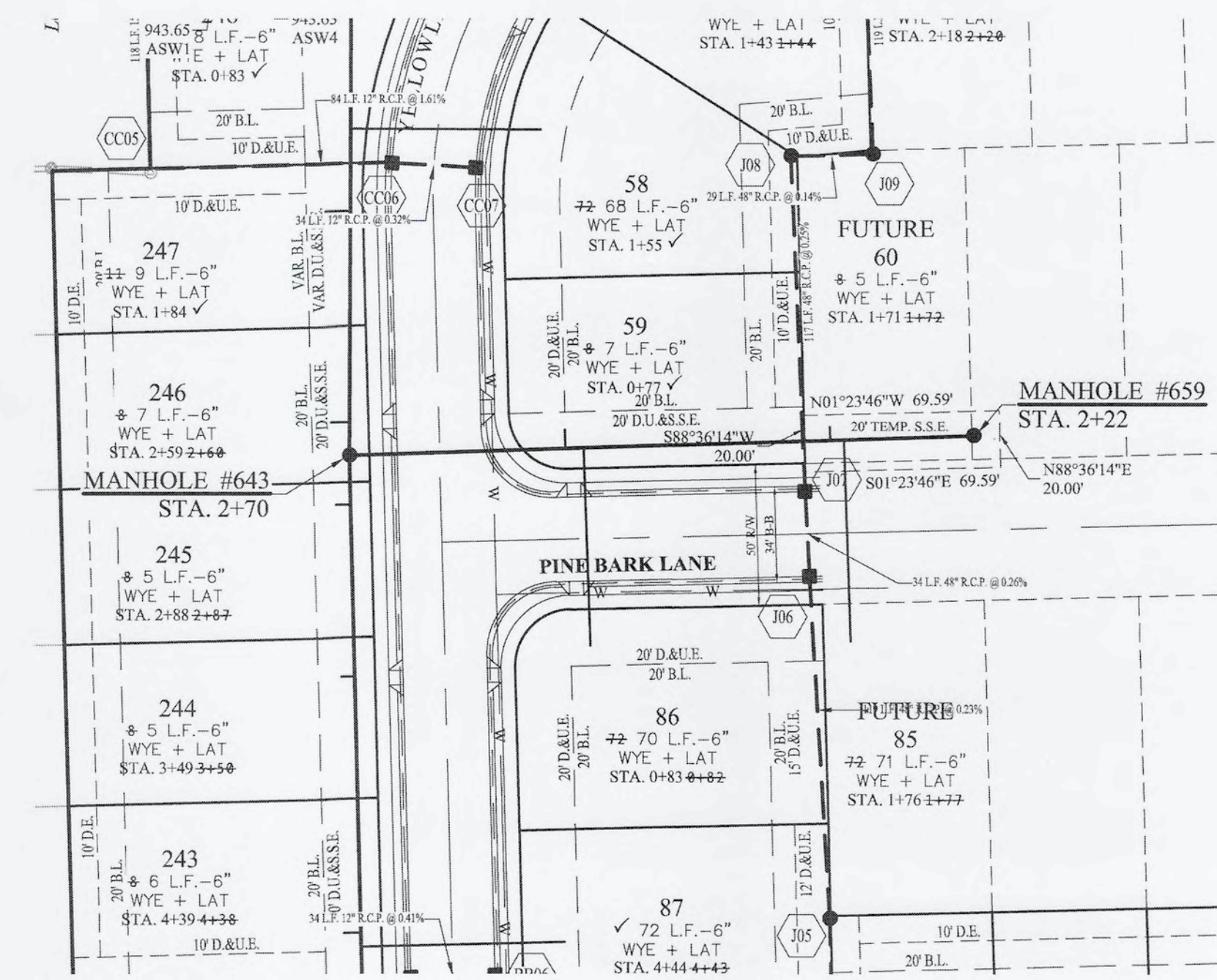
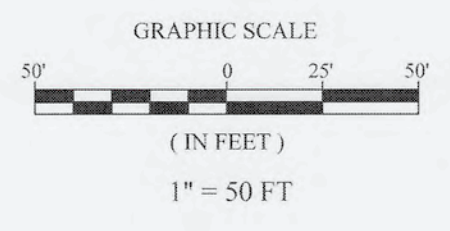
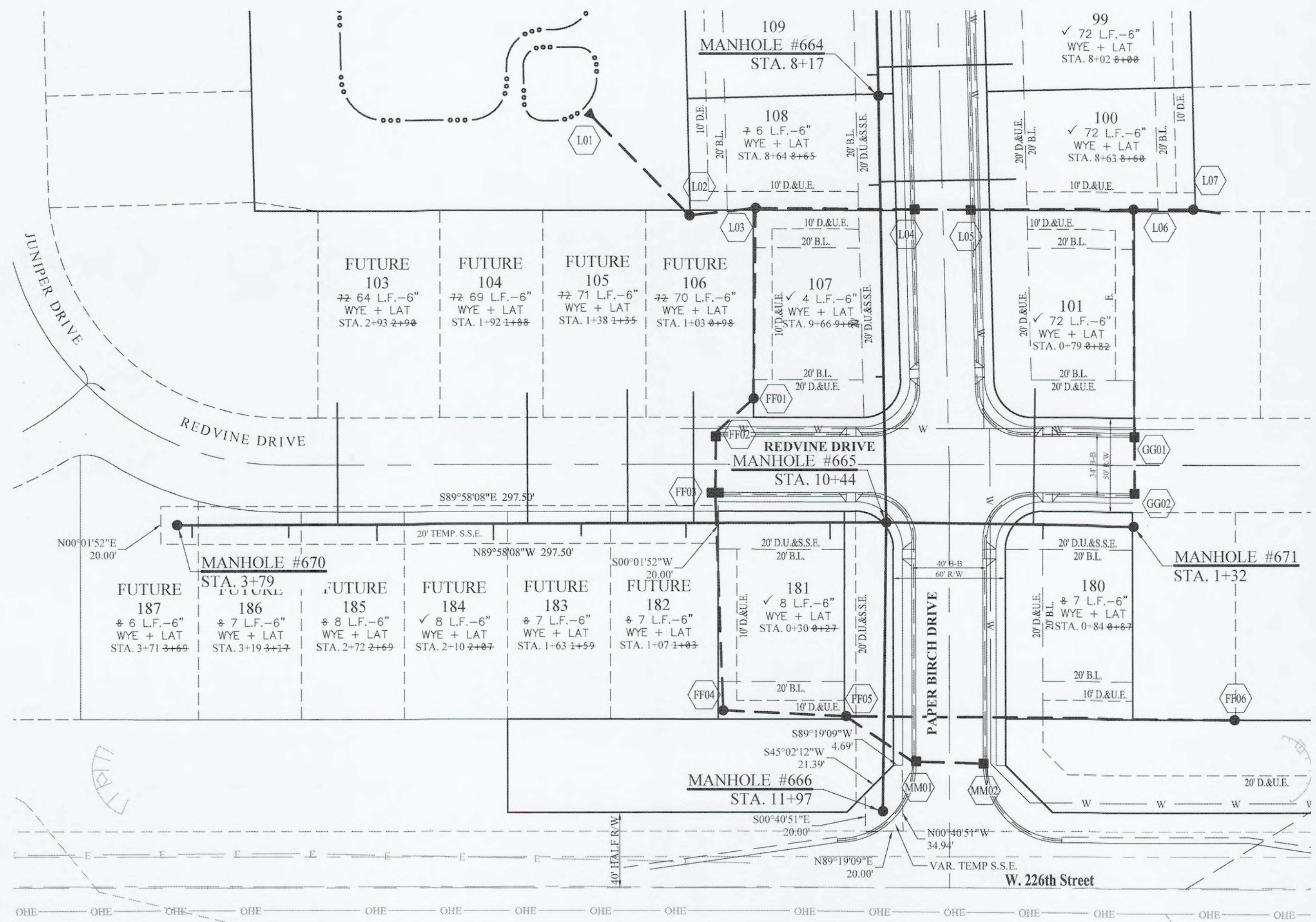
SANITARY SEWER PLAN & PROFILES
 MAPLE RUN
 SECTION 5

DRAWN BY: ADG
 CHECKED BY: BKR

SHEET NO.
C500
 S.A.A.R.B. NO.
 51510ARB-S5

THIS DRAWING IS NOT INTENDED TO BE USED FOR ANY OTHER PURPOSE THAN THE ORIGINAL BOUNDARY SURVEY ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.
 CERTIFIED: 10/26/2020
David J. Stoepelwerth
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA

S:\51510ARB-S5\DWG\C500 Sanitary Sewer Plan & Profile.dwg - C501
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 January 25, 2022 3:49:41 PM / Michael Evans
 Plotted / By:

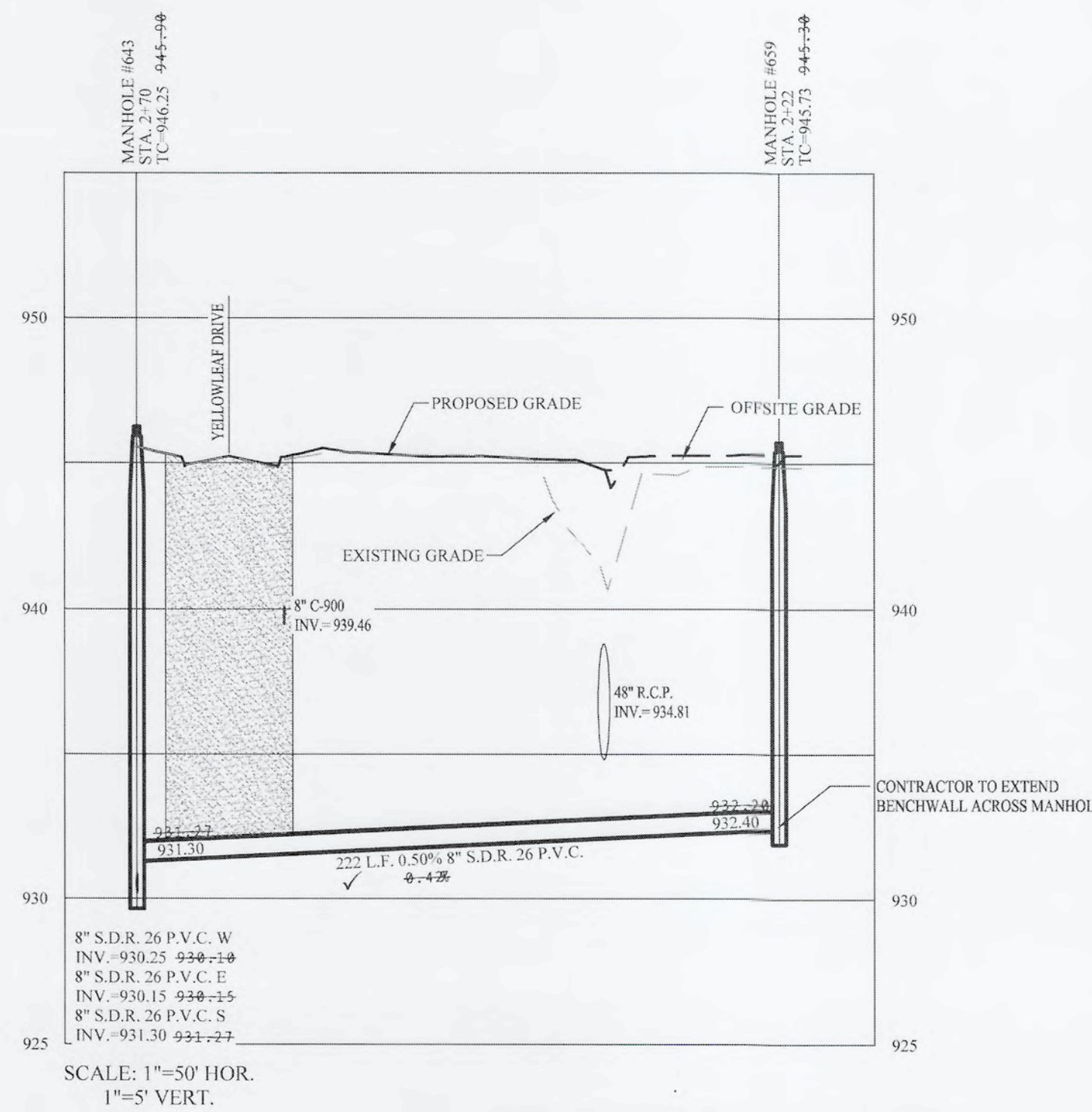
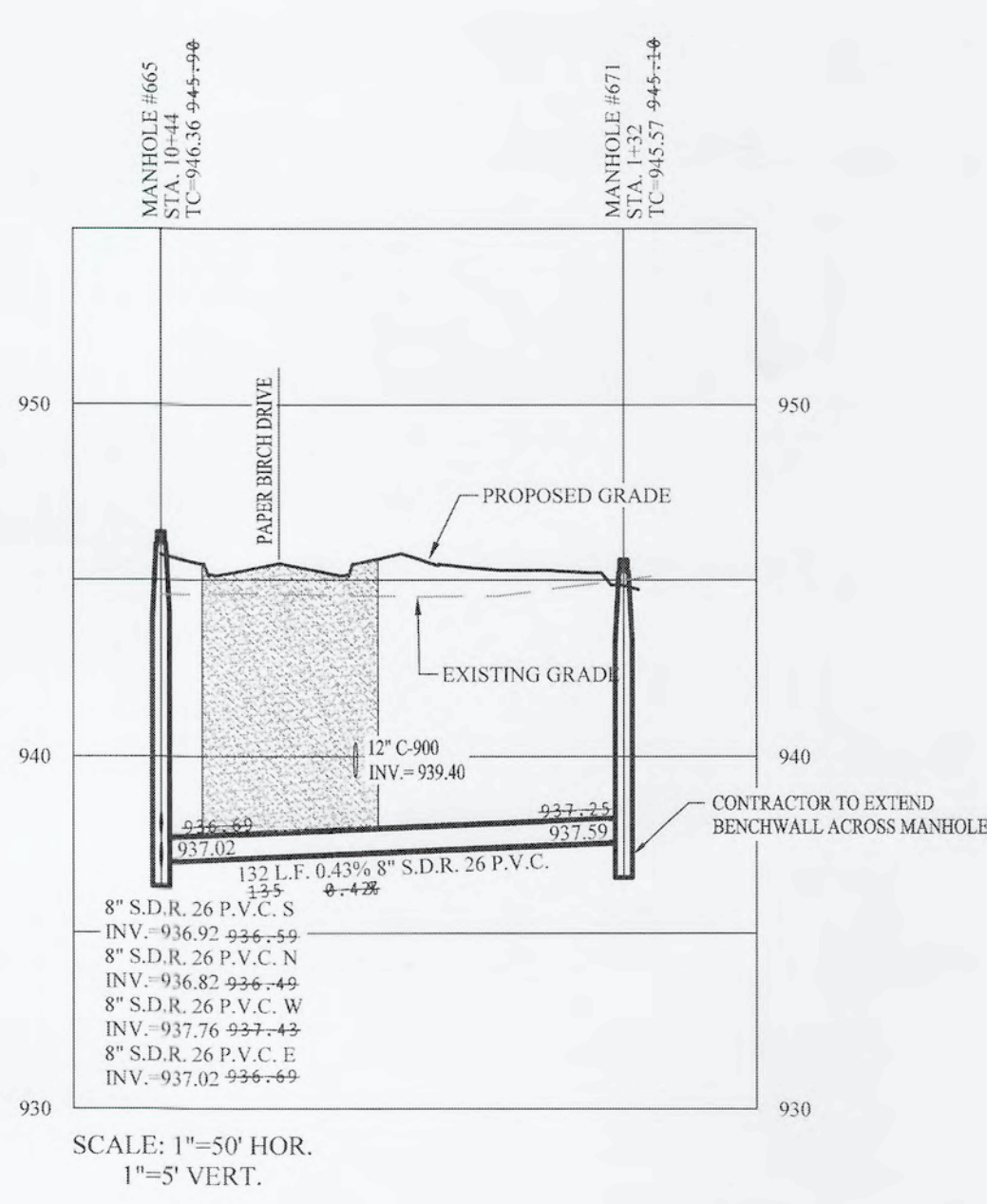
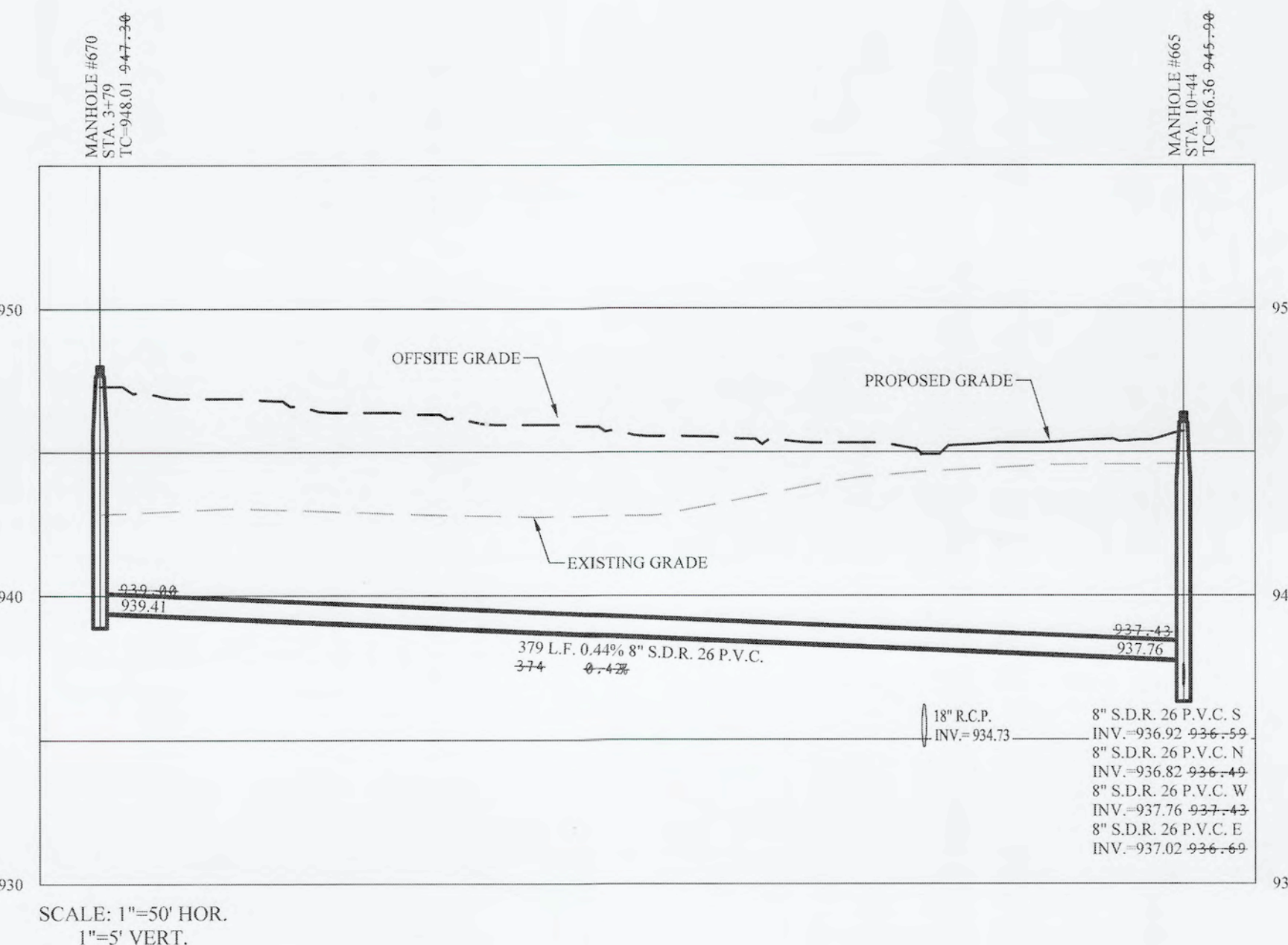
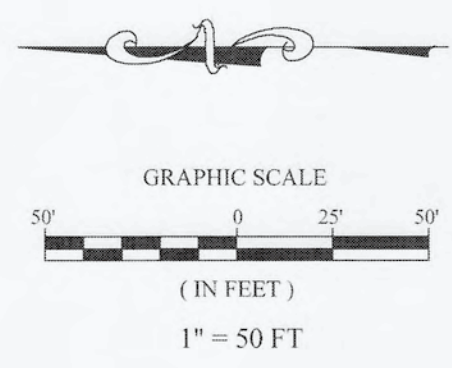


- LEGEND**
- EXISTING SANITARY SEWER (w/ LATERALS)
 - EXISTING STORM SEWER
 - EXISTING WATER LINE
 - PROPOSED SANITARY SEWER (w/ LATERALS)
 - PROPOSED STORM SEWER
 - PROPOSED WATER LINE
 - DENOTES FULL DEPTH GRANULAR BACKFILL

- NOTES**
- MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.
 - ALL WATER MAINS SHALL MAINTAIN 18 INCHES VERTICAL CLEARANCE AND 10 FEET HORIZONTAL CLEARANCE.
 - CONTRACTOR SHALL INSTALL SERVICE LATERALS TO FUTURE LOTS NOTED ON PLANS.
 - INSTALLATION OF PVC SANITARY SEWERS SHALL MEET REQUIREMENTS OF ASTM D2321.

UTILITY CROSSINGS

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.



RECORD DRAWING

This is to certify the Record Drawing of the Sanitary System, for Maple Run, Section 5, was prepared according to the actual locations of the structures, laterals and other surface evidence collected by Stoepfelwerth and Associates and is in general conformance with the approved plan dated 10/26/20.

Dennis D. Olmstead
 DENNIS D. OLMSTEAD
 Registered Land Surveyor
 No. 900012



The AS BUILT DRAWINGS, for Maple Run, Section 5, are to the best of my knowledge and belief, a true and correct representation of the Sanitary System installation, easements and rights of way, and are in accordance with the approved plans dated 10/26/20, and certified by David J. Stoepfelwerth-Stoepfelwerth and Associates, Inc. and the Indiana American technical specification for Developer Installed Sanitary System.

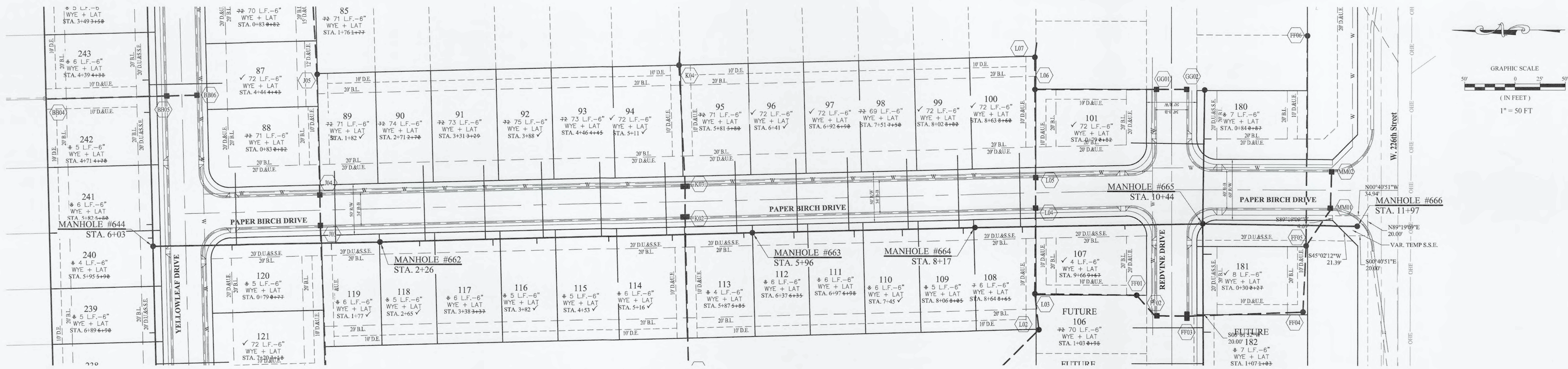
David J. Stoepfelwerth
 DAVID J. STOEPFELWERTH
 Professional Engineer
 No. 19358



STOEPFELWERTH
 ALWAYS ON
 7945 East 106th Street, Fishers, IN 46038-2505
 phone: 317.849.5985 fax: 317.849.5942
 HAMILTON COUNTY, INDIANA
 SHERIDAN, ADAMS TOWNSHIP
MAPLE RUN SECTION 5
C501
 S&A JOB NO. 51510ARB-S5

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A CONTRACTOR'S ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.
 CERTIFIED: 10/26/2020
David J. Stoepfelwerth
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA

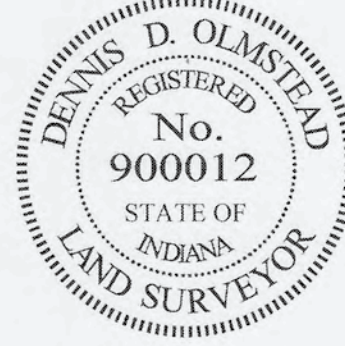
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DATE	11/10/20	REVISIONS	
DATE		AS BUILTS	
DATE		REVISED PLANS PER CLIENT COMMENTS	
DATE		DSM	
DATE		MIE	
DATE		BY	



RECORD DRAWING

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Dennis D. Olmstead
 DENNIS D. OLMSTEAD
 Registered Land Surveyor
 No. 900012
 STATE OF INDIANA
 11/27/2022



The AS BUILT DRAWINGS, for Maple Run, Section 5, are to the best of my knowledge and belief, a true and correct representation of the Sanitary System installation, easements and rights of way, and are in accordance with the approved plans dated 10/26/20, and certified by David J. Stoepfelwerth-Stoepfelwerth and Associates, Inc. and the Indiana American technical specification for Developer Installed Sanitary System.

David J. Stoepfelwerth
 DAVID J. STOEPFELWERTH
 Professional Engineer
 No. 19358



LEGEND

- EXISTING SANITARY SEWER (w/ LATERALS)
- EXISTING STORM SEWER
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER (w/ LATERALS)
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- DENOTES FULL DEPTH GRANULAR BACKFILL

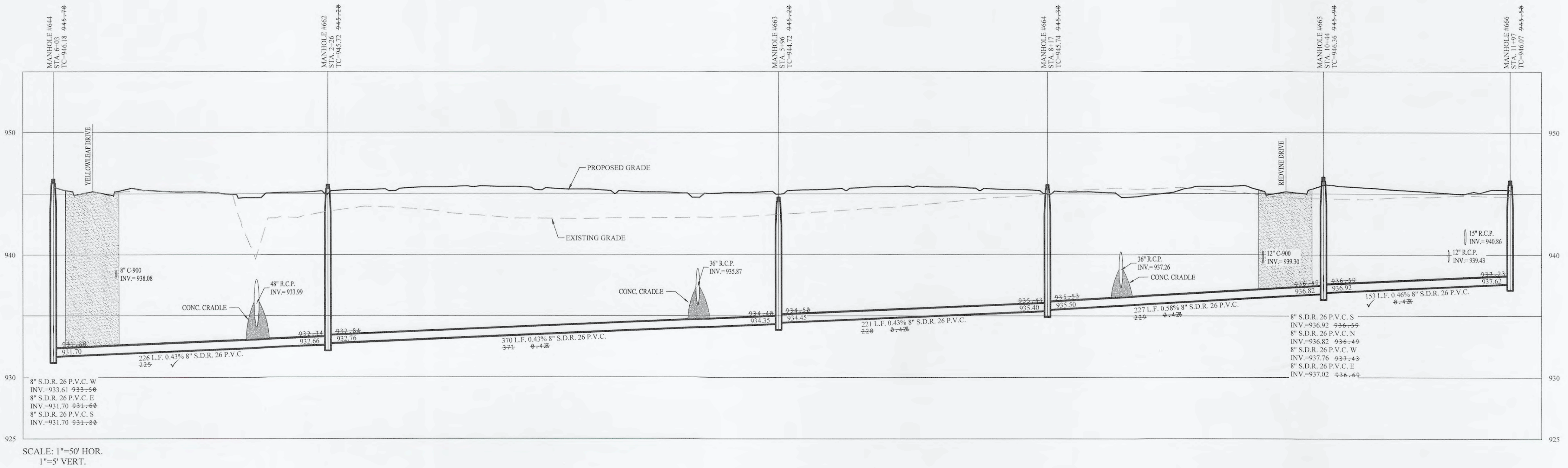
NOTES

- MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.
- ALL WATER MAINS SHALL MAINTAIN 18 INCHES VERTICAL CLEARANCE AND 10 FEET HORIZONTAL CLEARANCE.
- CONTRACTOR SHALL INSTALL SERVICE LATERALS TO FUTURE LOTS NOTED ON PLANS.
- INSTALLATION OF PVC SANITARY SEWERS SHALL MEET REQUIREMENTS OF ASTM D2221.

UTILITY CROSSINGS

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

SANITARY STRUCTURE DATA TABLE												
STR.#	TYPE	T.C.	DIA. IN	DIR. IN	INV. IN	DIA. OUT	DIR. OUT	INV. OUT	SLOPE	NEXT STR.#	LEN.	MATERIAL
639	EX. MANHOLE	945.09	8"	S	930.62	8"	N	931.64	0.44%	640 (S)	233'	S.D.R. 26 P.V.C.
640	MANHOLE	945.80	8"	W	928.96	8"	E	930.15	0.44%	643 (W)	270'	S.D.R. 26 P.V.C.
643	MANHOLE	946.30	8"	W	930.25	8"	E	930.15	0.44%	644 (W)	333'	S.D.R. 26 P.V.C.
644	MANHOLE	946.20	8"	W	931.70	8"	E	931.70	0.44%	645 (W)	284'	S.D.R. 26 P.V.C.
645	MANHOLE	946.10	8"	W	931.70	8"	E	931.70	0.44%	643 (E)	333'	S.D.R. 26 P.V.C.
659	MANHOLE	945.70	8"	N	932.40	8"	S	932.40	0.50%	642 (N)	226'	S.D.R. 26 P.V.C.
662	MANHOLE	945.70	8"	S	932.76	8"	N	932.66	0.43%	663 (S)	370'	S.D.R. 26 P.V.C.
663	MANHOLE	944.70	8"	S	934.45	8"	N	934.35	0.43%	664 (S)	221'	S.D.R. 26 P.V.C.
664	MANHOLE	945.70	8"	S	935.50	8"	N	935.40	0.43%	665 (S)	221'	S.D.R. 26 P.V.C.
665	MANHOLE	946.40	8"	S	936.92	8"	N	936.82	0.58%	666 (S)	153'	S.D.R. 26 P.V.C.
666	MANHOLE	946.10	8"	W	937.76	8"	E	937.76	0.46%	664 (W)	227'	S.D.R. 26 P.V.C.
670	MANHOLE	948.00	8"	E	939.41	8"	W	939.41	0.44%	665 (E)	379'	S.D.R. 26 P.V.C.
671	MANHOLE	945.60	8"	W	937.59	8"	E	937.59	0.43%	665 (W)	132'	S.D.R. 26 P.V.C.



SCALE: 1"=50' HOR.
 1"=5' VERT.

S:\51510ARB-S\DWG\C500 Sanitary Sewer Plan & Profile.dwg - C502
 January 25, 2022 3:48:16 PM / mevana
 January 25, 2022 3:50:04 PM / Michael Evans

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACTIONMENT FOR SURVEY OR A SURVEYOR LOCATION REPORT.

CERTIFIED: 10/26/2020
David J. Stoepfelwerth
 David J. Stoepfelwerth
 Registered Professional Engineer
 No. 19358
 STATE OF INDIANA

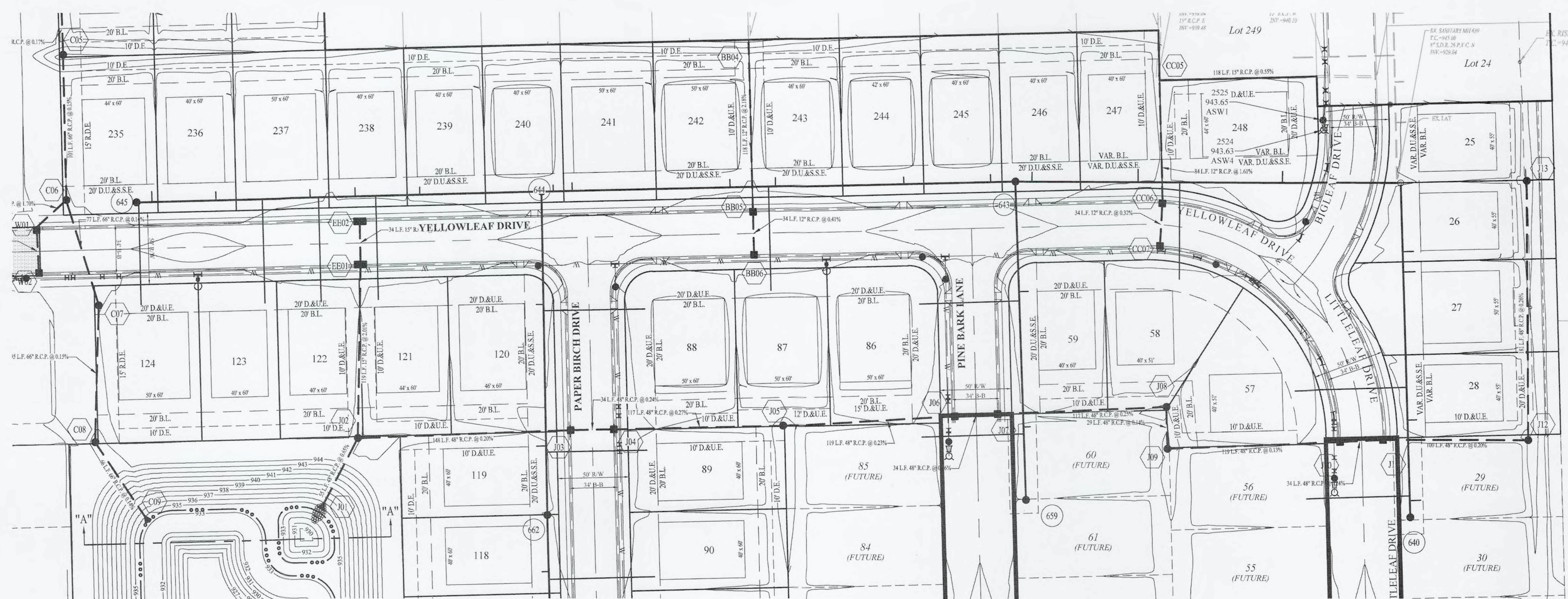
STOEPFELWERTH
 ALWAYS ON
 7945 East 106th Street, Fishers, IN 46038-2505
 phone: 317.849.9585 fax: 317.849.9592

SANITARY SEWER PLAN & PROFILES
 MAPLE RUN
 SECTION 5
 SHERIDAN, ADAMS TOWNSHIP
 HAMILTON COUNTY, INDIANA

DRAWN BY: ADG
 CHECKED BY: BKR

SHEET NO.
C502
 S & A JOB NO.
 51510ARB-S5

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LEGEND

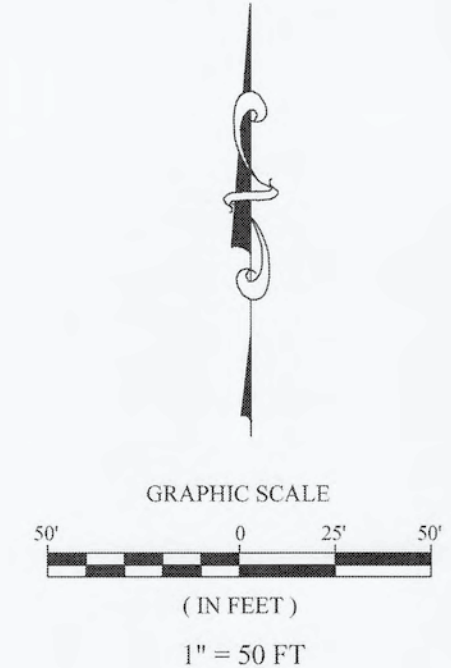
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- EXISTING STORM SEWER
- W— EXISTING WATER LINE
- PROPOSED SANITARY SEWER (w/ LATERALS)
- PROPOSED STORM SEWER
- W— PROPOSED WATER LINE
- DENOTES FULL DEPTH GRANULAR BACKFILL

NOTES

- ALL WATER MAINS SHALL MAINTAIN 18 INCHES VERTICAL CLEARANCE AND 10 FEET HORIZONTAL CLEARANCE, UNLESS OTHERWISE NOTED ON C700-C705.
- SEE SHEETS C802 - C804 FOR STRUCTURE DETAILS.

UTILITY CROSSINGS

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.



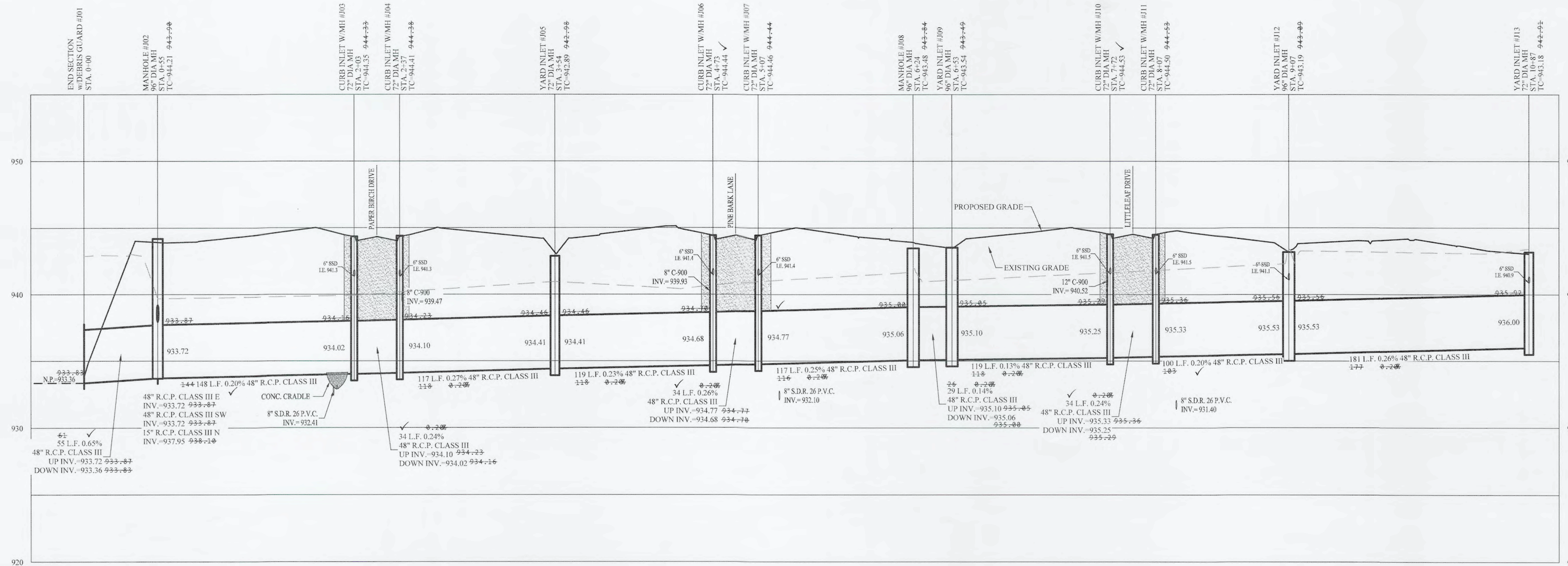
THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY. A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

David J. Stoepelwerth
 CERTIFIED: 10/26/2020
 No. 19358
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF INDIANA

STOEPPELWERTH
 ALWAYS ON
 7905 East 100th Street, Fishers, IN 46038-2505
 phone: 317.849.5935 fax: 317.849.5942

STORM SEWER PLAN & PROFILES
 MAPLE RUN
 SECTION 5
 SHERIDAN, ADAMS TOWNSHIP
 HAMILTON COUNTY, INDIANA

DRAWN BY: ADG CHECKED BY: BKR
 SHEET NO. C600
 S.E.A. JOB NO. 51510ARB-S5

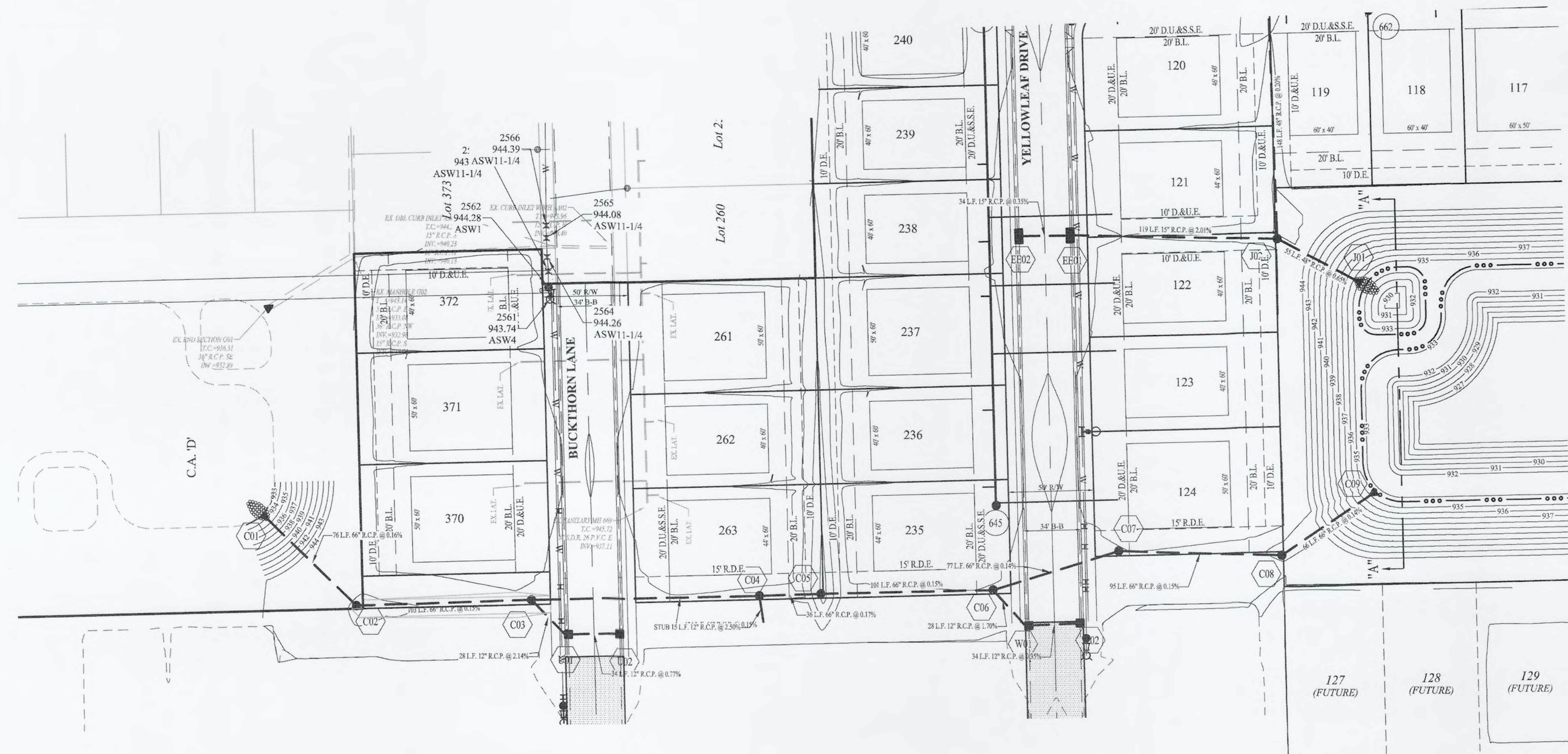


RECORD DRAWING

Dennis D. Olmstead
 Registered Professional Land Surveyor
 No. 900012
 11/21/2022

DENNIS D. OLMSTEAD
 REGISTERED PROFESSIONAL LAND SURVEYOR
 No. 900012
 STATE OF INDIANA

File Name: S:\51510ARB-SS\DWG\C600 Storm Sewer Plan & Profile.dwg - C601
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LEGEND

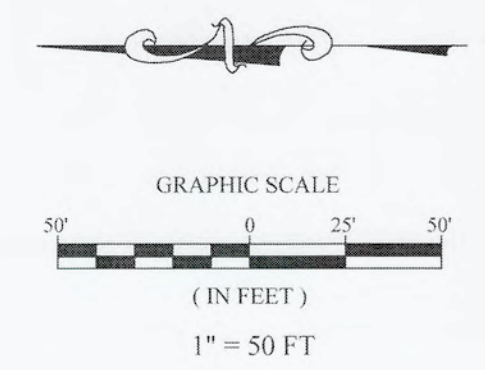
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- EXISTING STORM SEWER
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER (w/ LATERALS)
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- DENOTES FULL DEPTH GRANULAR BACKFILL

NOTES

- ALL WATER MAINS SHALL MAINTAIN 18 INCHES VERTICAL CLEARANCE AND 10 FEET HORIZONTAL CLEARANCE, UNLESS OTHERWISE NOTED ON C700-C705.
- SEE SHEETS C802 - C804 FOR STRUCTURE DETAILS.

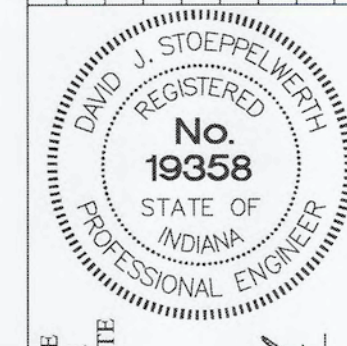
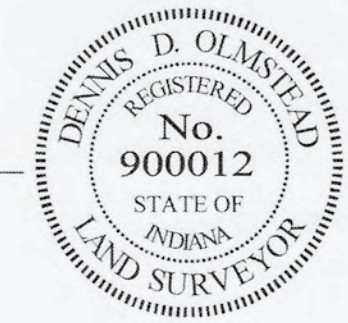
UTILITY CROSSINGS

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.



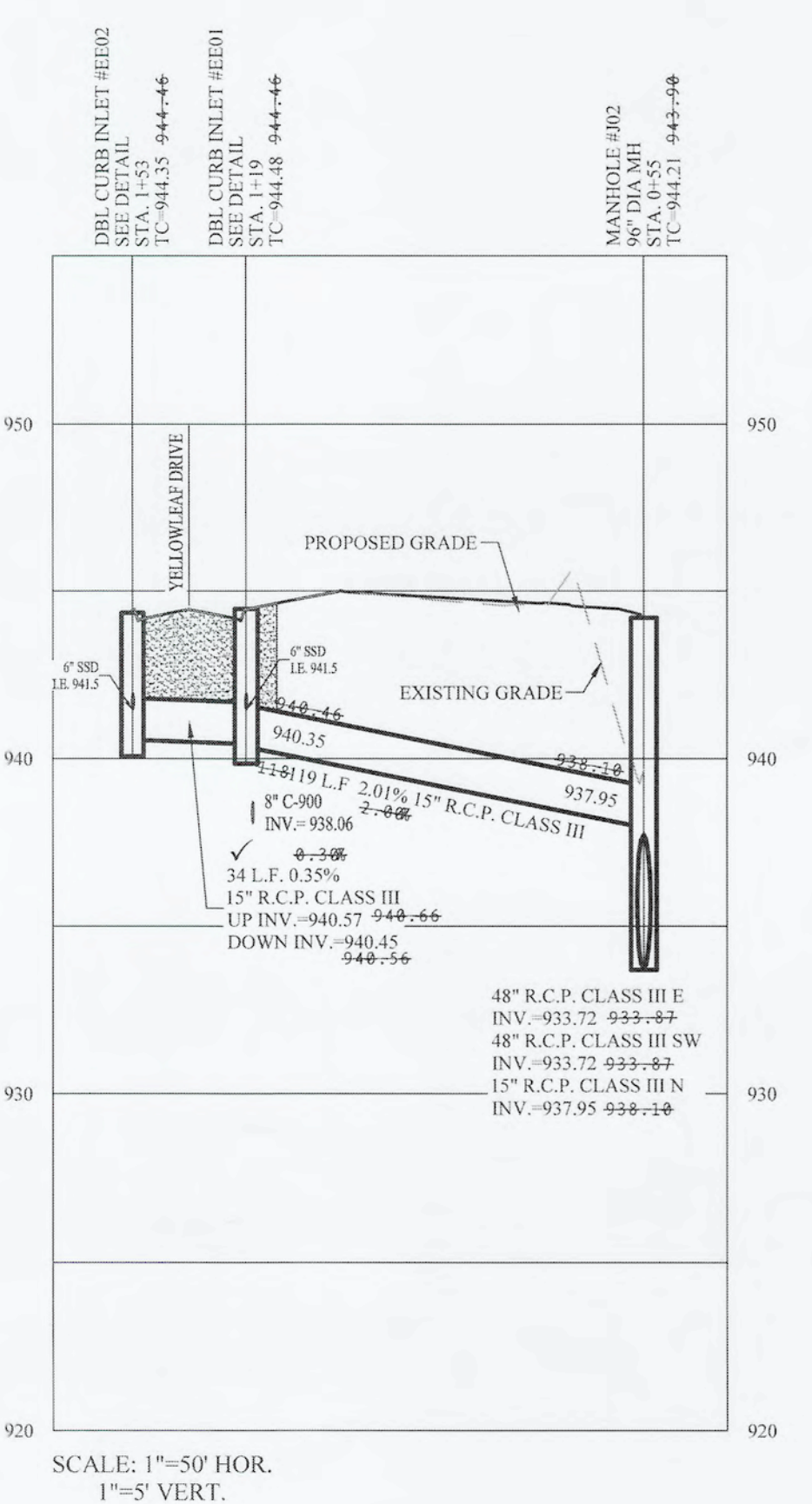
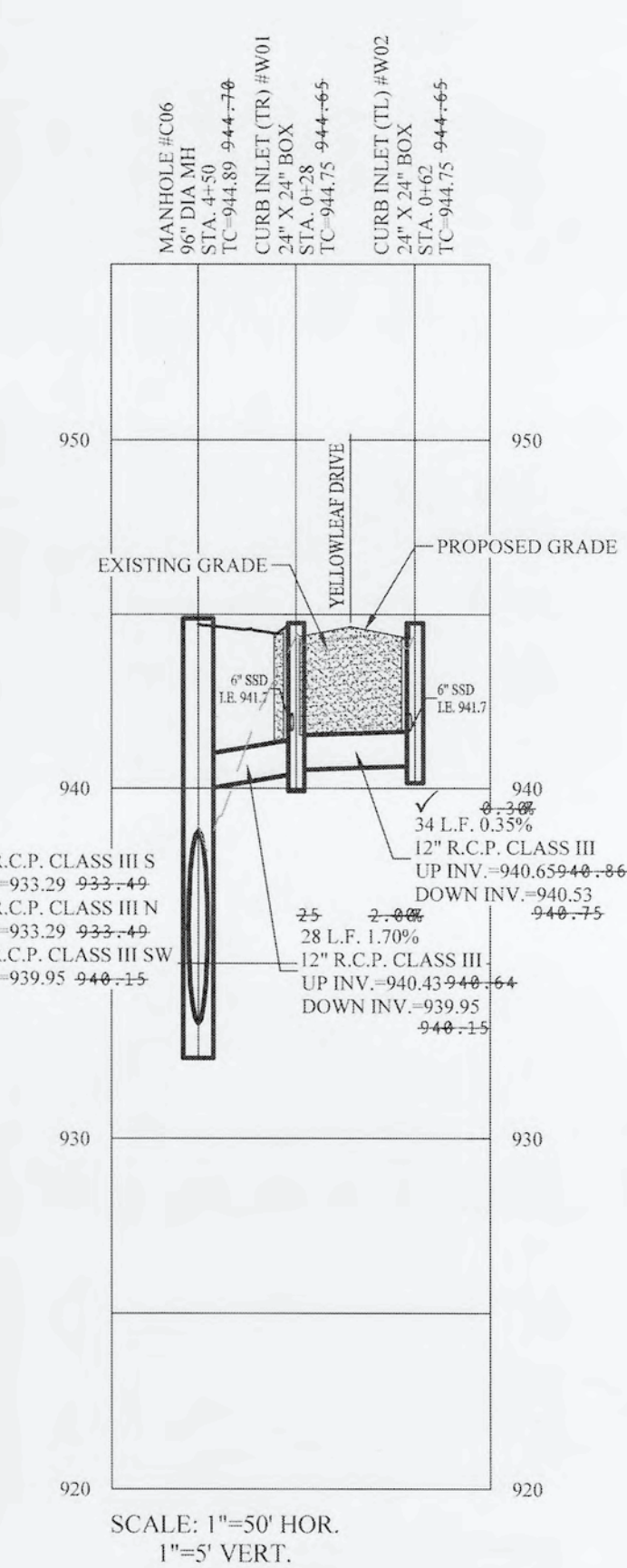
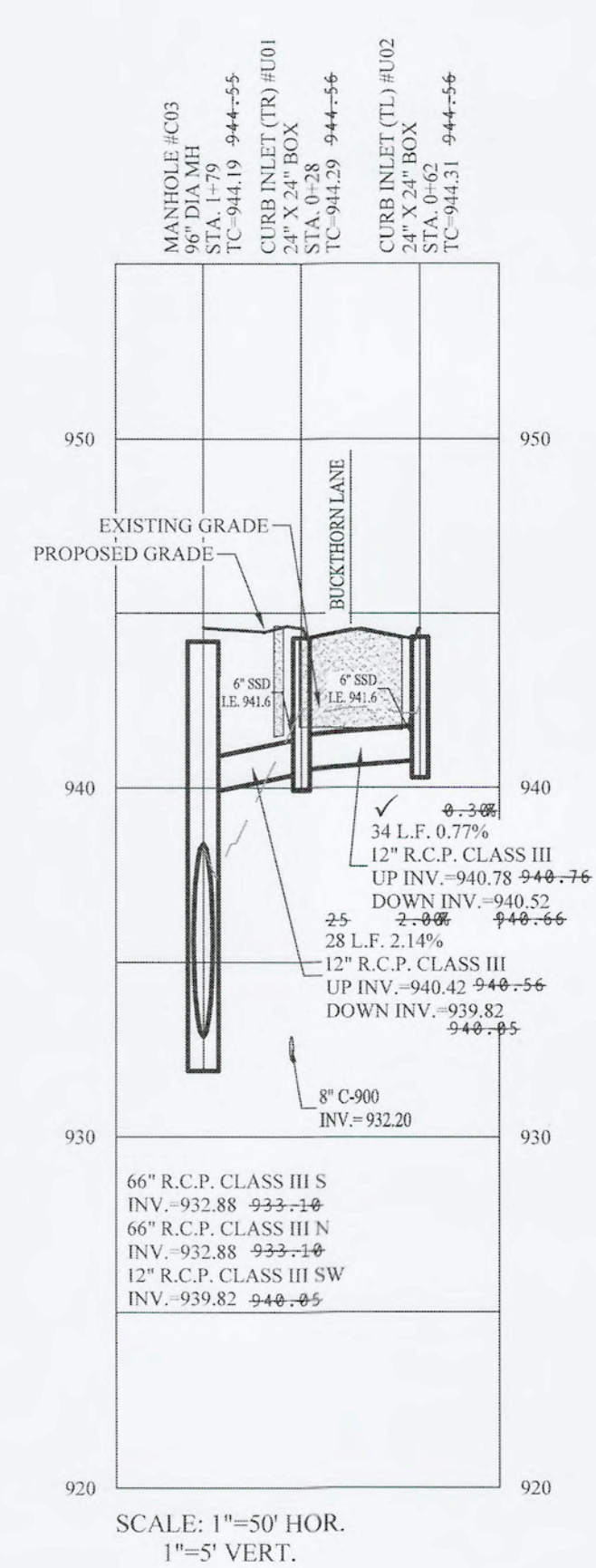
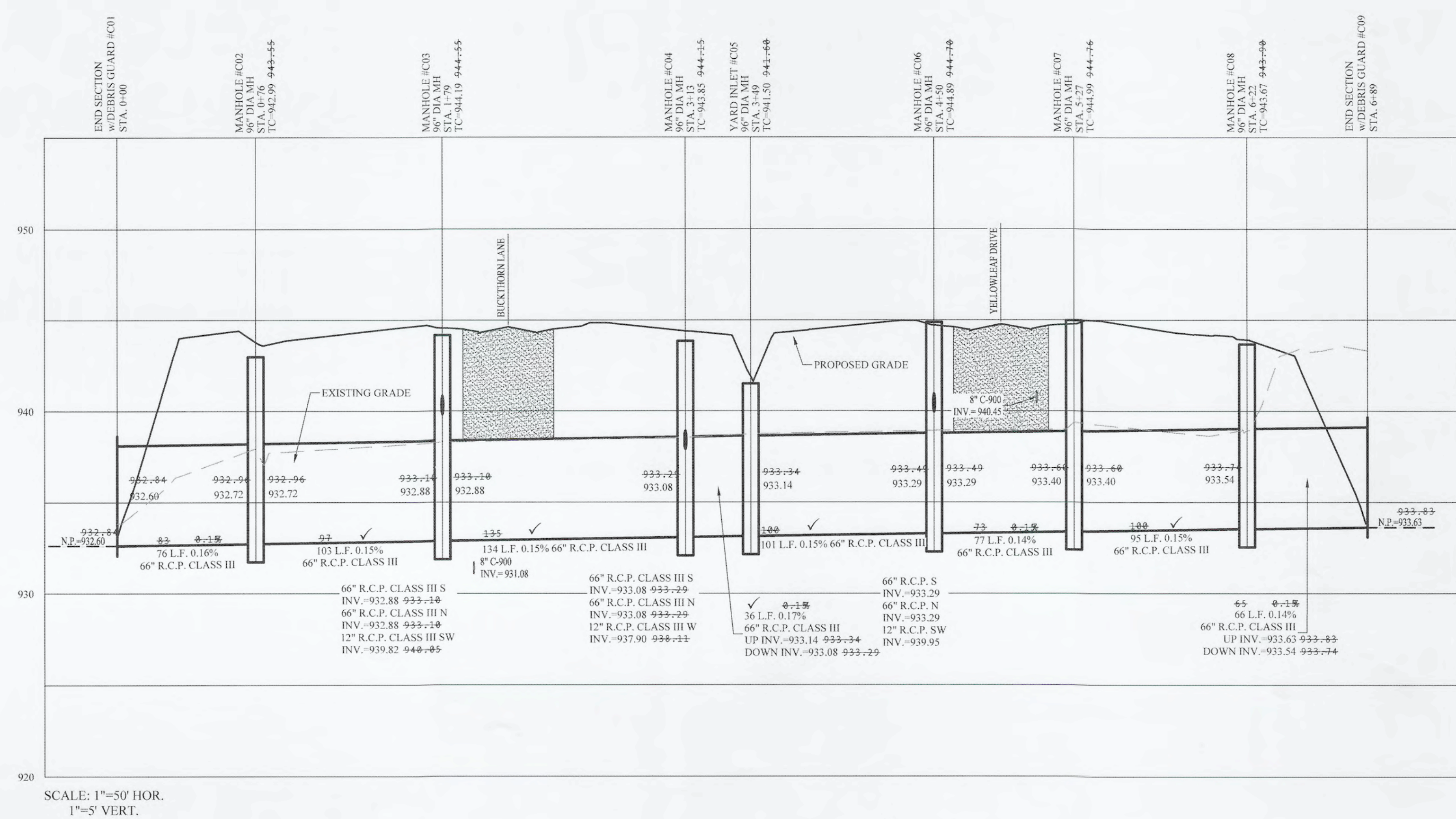
RECORD DRAWING

D.D.D.
 Dennis D. Olmstead
 Professional Land Surveyor
 No. 900012
 1/27/2022



THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.
 CERTIFIED: 10/26/2020
David J. Stoepelwerth

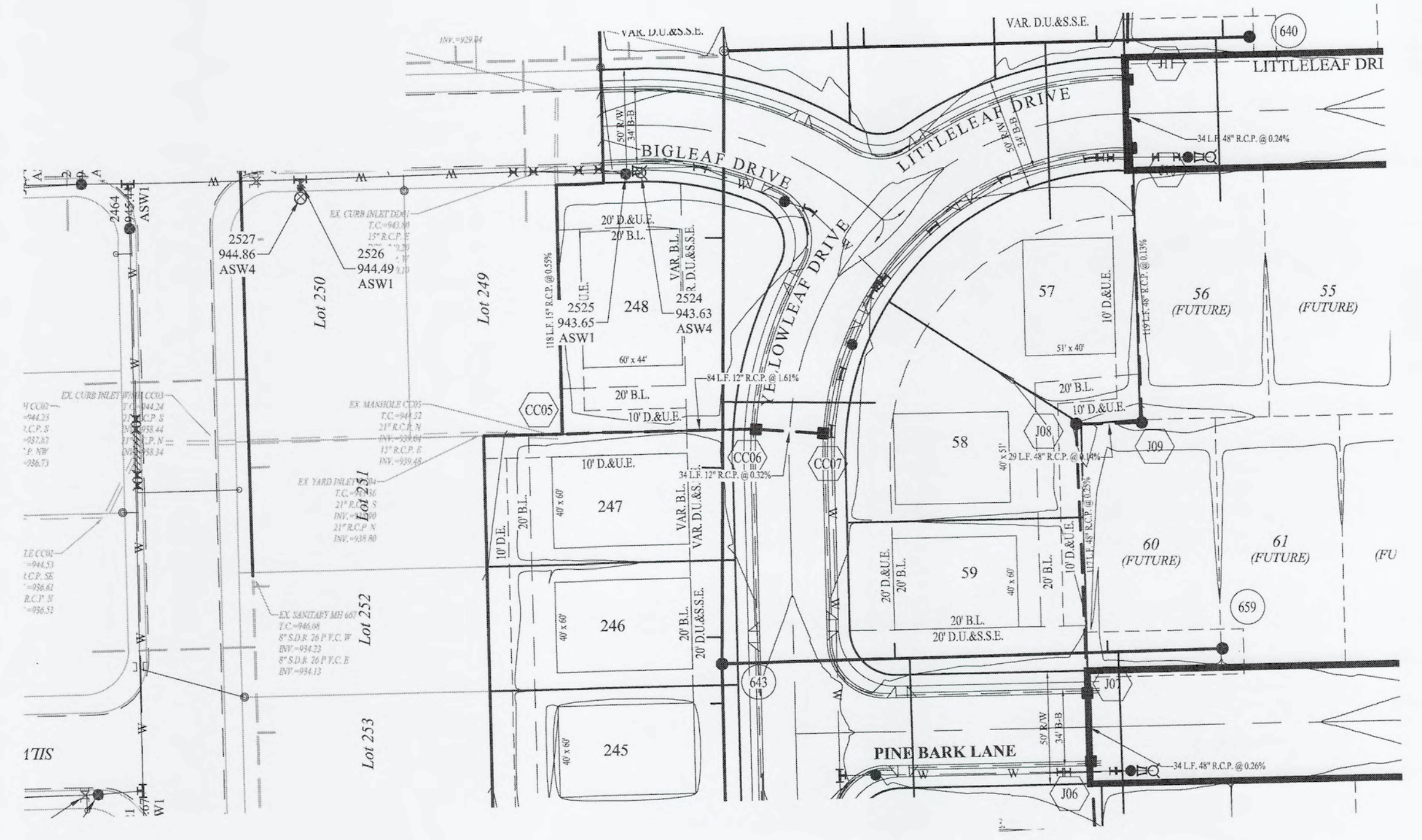
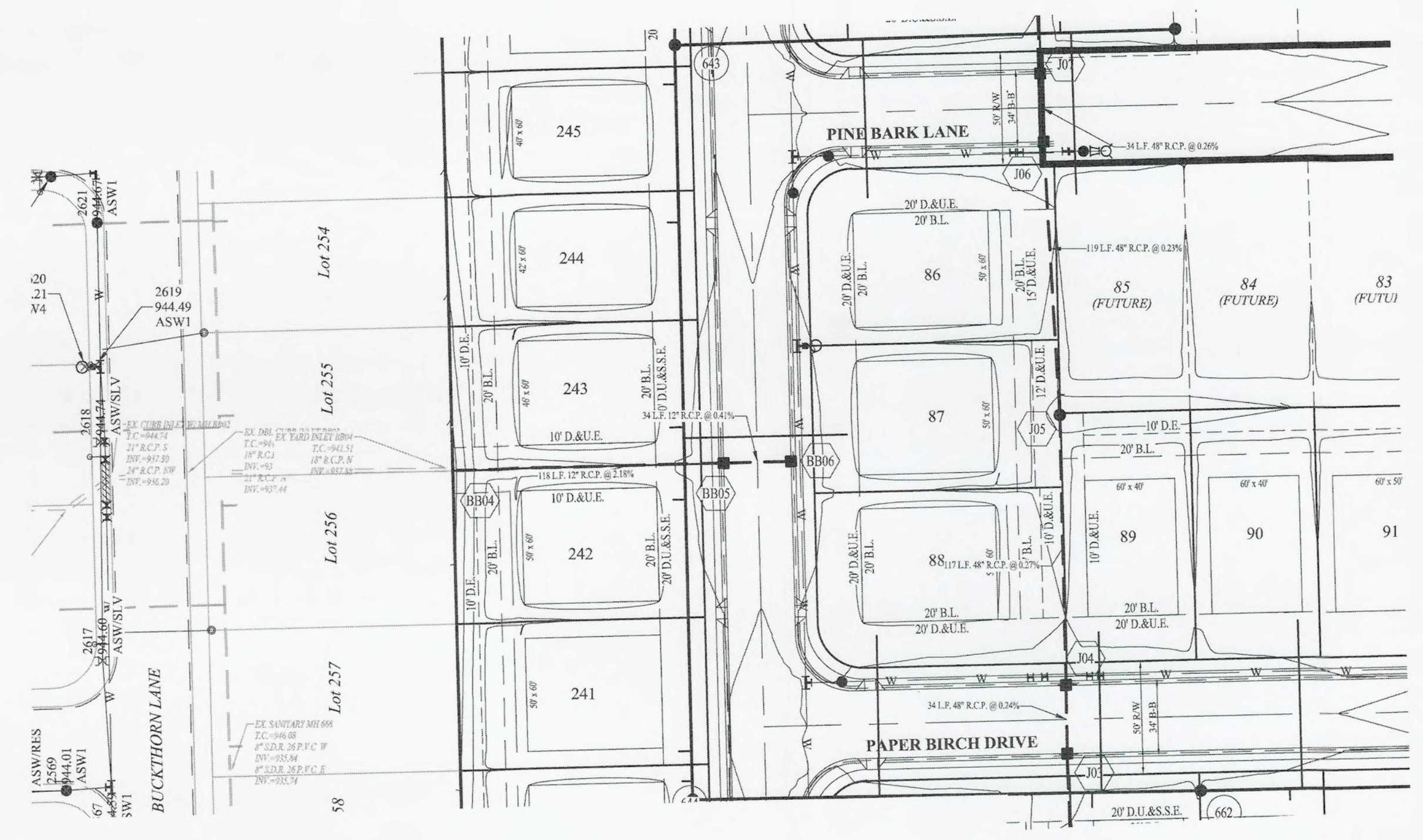
STOEPPELWERTH
 ALWAYS ON
 7945 East 106th Street, Fishers, IN 46038-2505
 phone: 317.849.5955 fax: 317.849.5942



STORM SEWER PLAN & PROFILES
MAPLE RUN
SECTION 5
 SHERIDAN, ADAMS TOWNSHIP
 HAMILTON COUNTY, INDIANA

DRAWN BY: ADG
 CHECKED BY: BKR
 SHEET NO. **C601**
 S & A JOB NO. 51510ARB-SS

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 Plotted / By: January 25, 2022 3:24:21 PM / Michael Evans



LEGEND

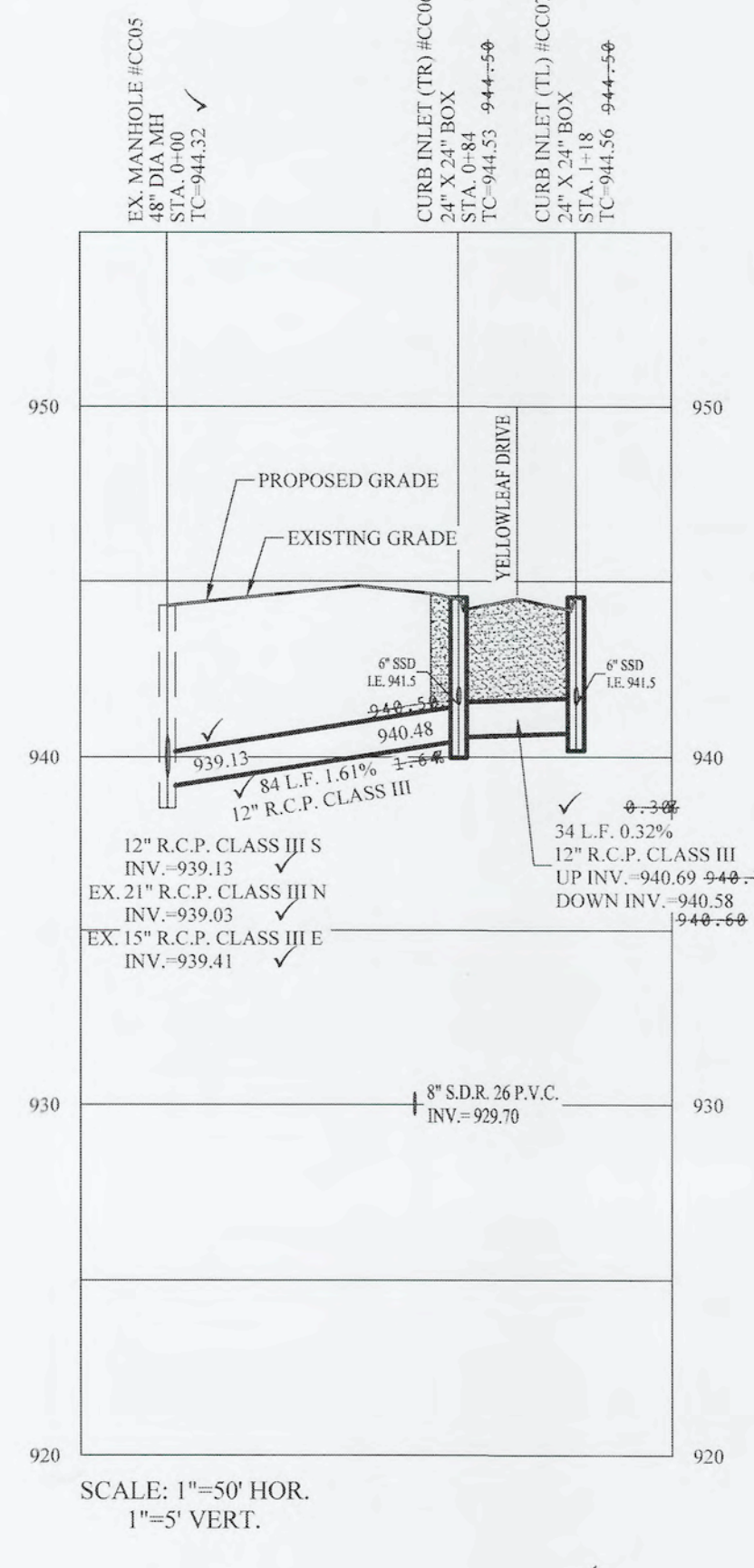
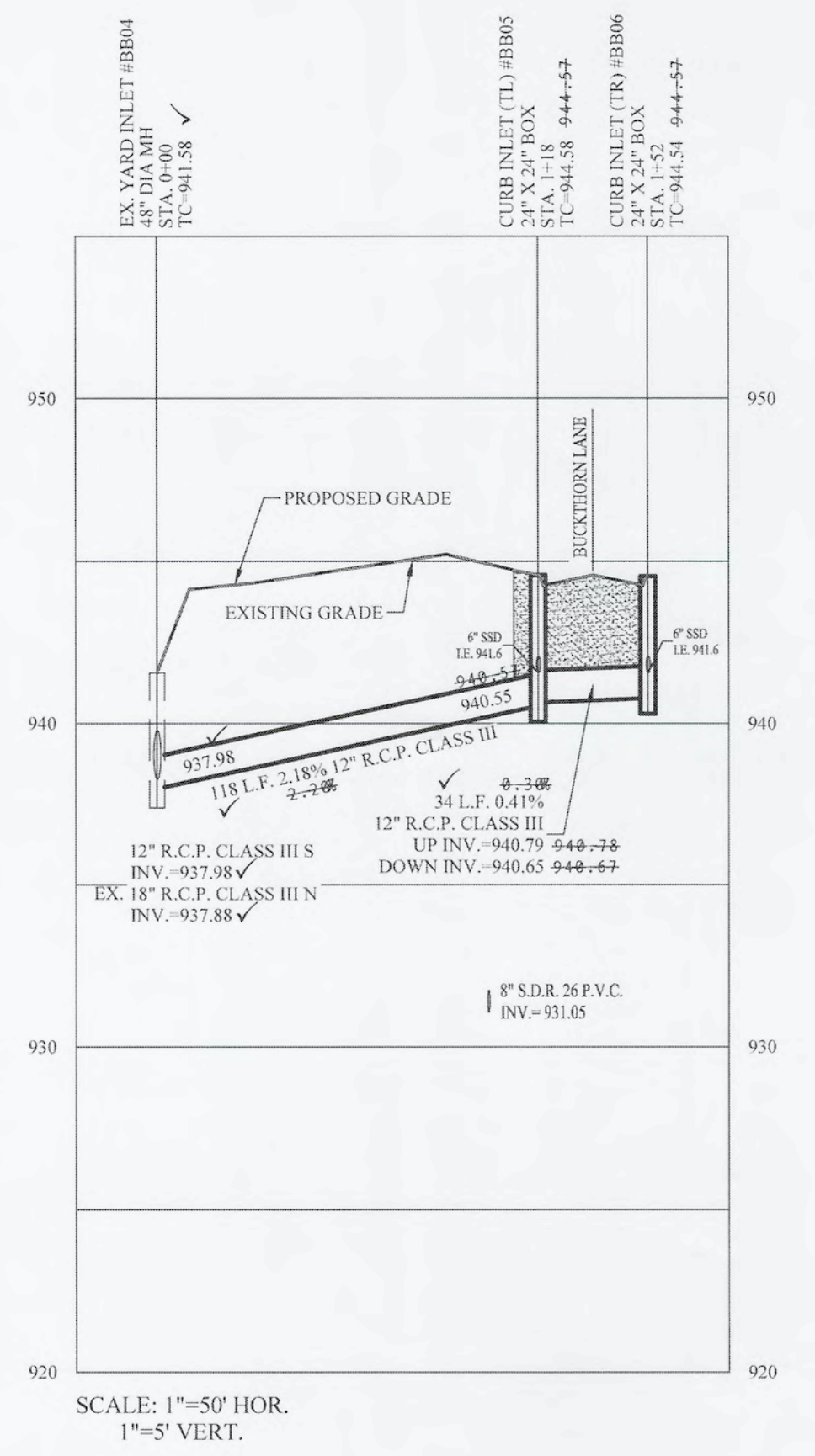
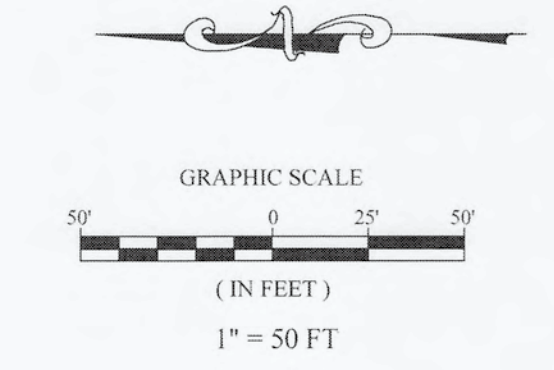
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- EXISTING STORM SEWER
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER (w/ LATERALS)
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- DENOTES FULL DEPTH GRANULAR BACKFILL

NOTES

- ALL WATER MAINS SHALL MAINTAIN 18 INCHES VERTICAL CLEARANCE AND 10 FEET HORIZONTAL CLEARANCE, UNLESS OTHERWISE NOTED ON C700-C705.
- SEE SHEETS C802 - C804 FOR STRUCTURE DETAILS.

UTILITY CROSSINGS

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.



STORM SEWER PLAN & PROFILES
 MAPLE RUN
 SECTION 5

SHERIDAN, ADAMS TOWNSHIP HAMILTON COUNTY, INDIANA

STOEPPELWERTH
 ALWAYS ON
 795 East 106th Street, Fishers, IN 46038-2505
 phone: 317.849.5955 fax: 317.849.5942

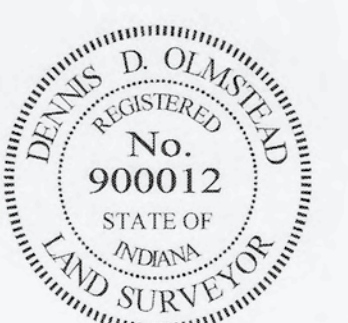
REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA
 David J. Stoepfelwirth
 CERTIFIED: 10/26/2020

DATE: 01/25/22
 MARK: AS BUILT
 REVISIONS PER CLIENT COMMENTS

DRAWN BY: ADG CHECKED BY: BKR
 SHEET NO. C602
 S & A JOB NO. 51510ARB-S5

RECORD DRAWING

D.J.S.
 Dennis D. Olmstead
 Professional Land Surveyor
 No. 900012
 1/27/2022



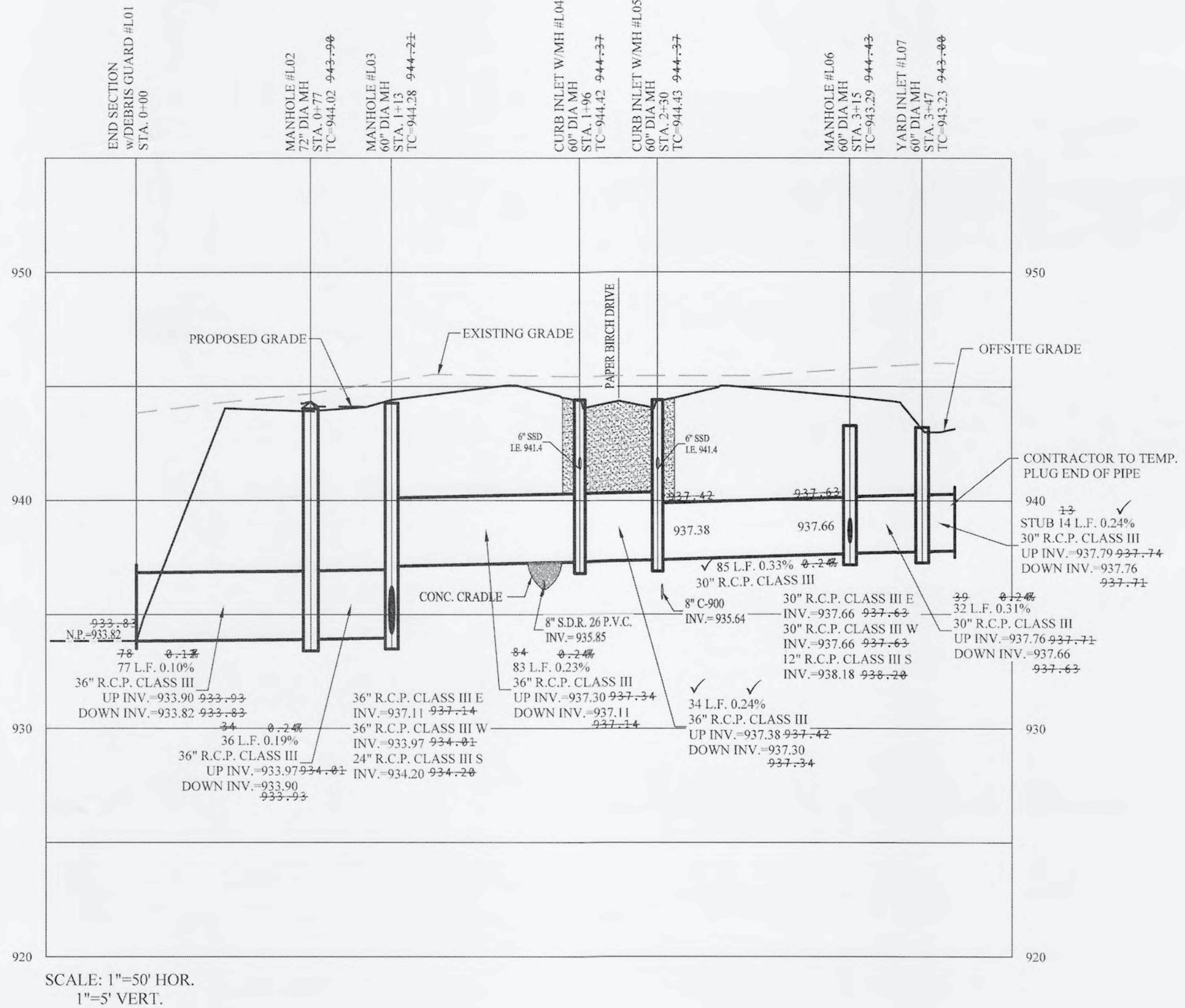
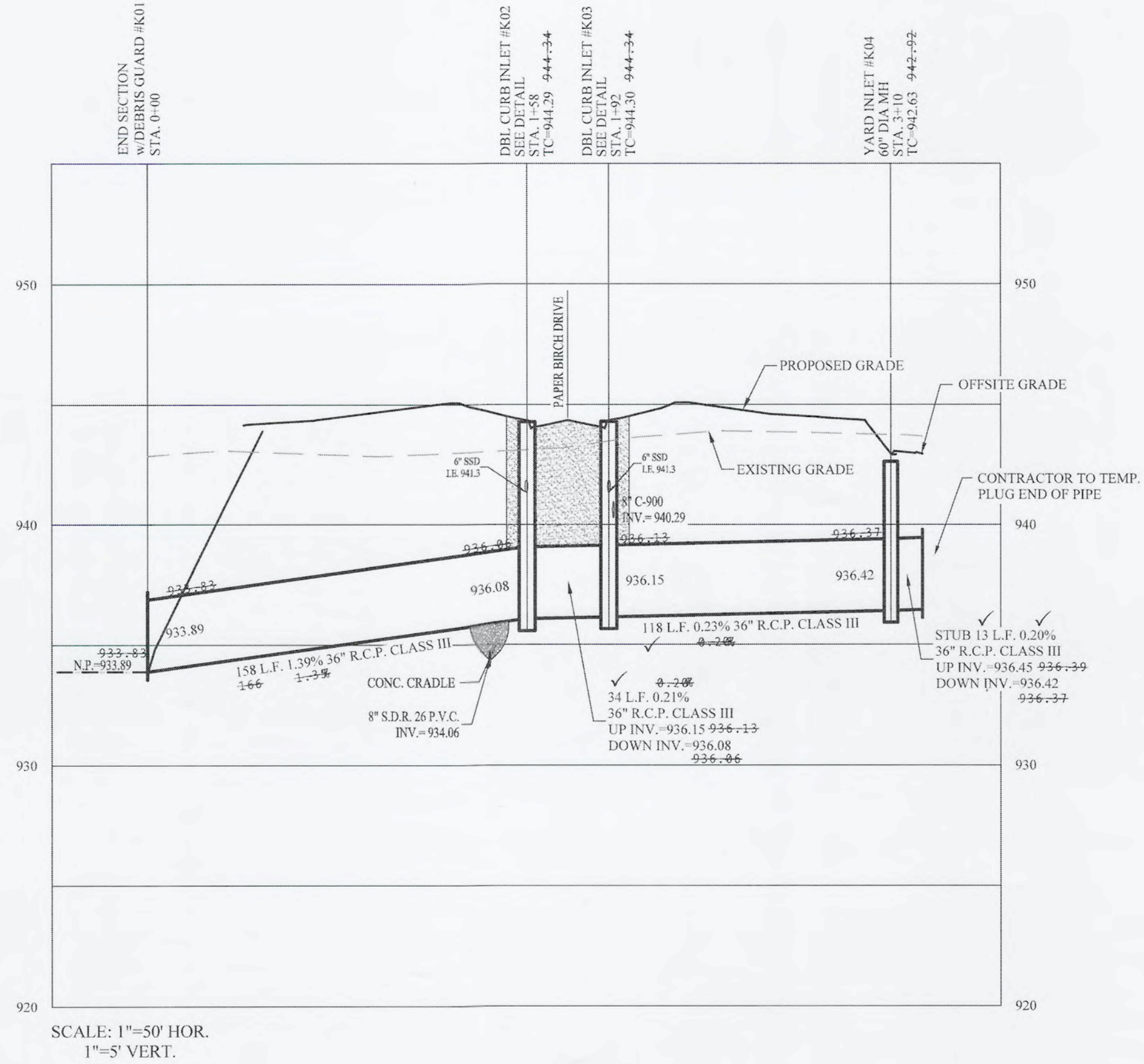
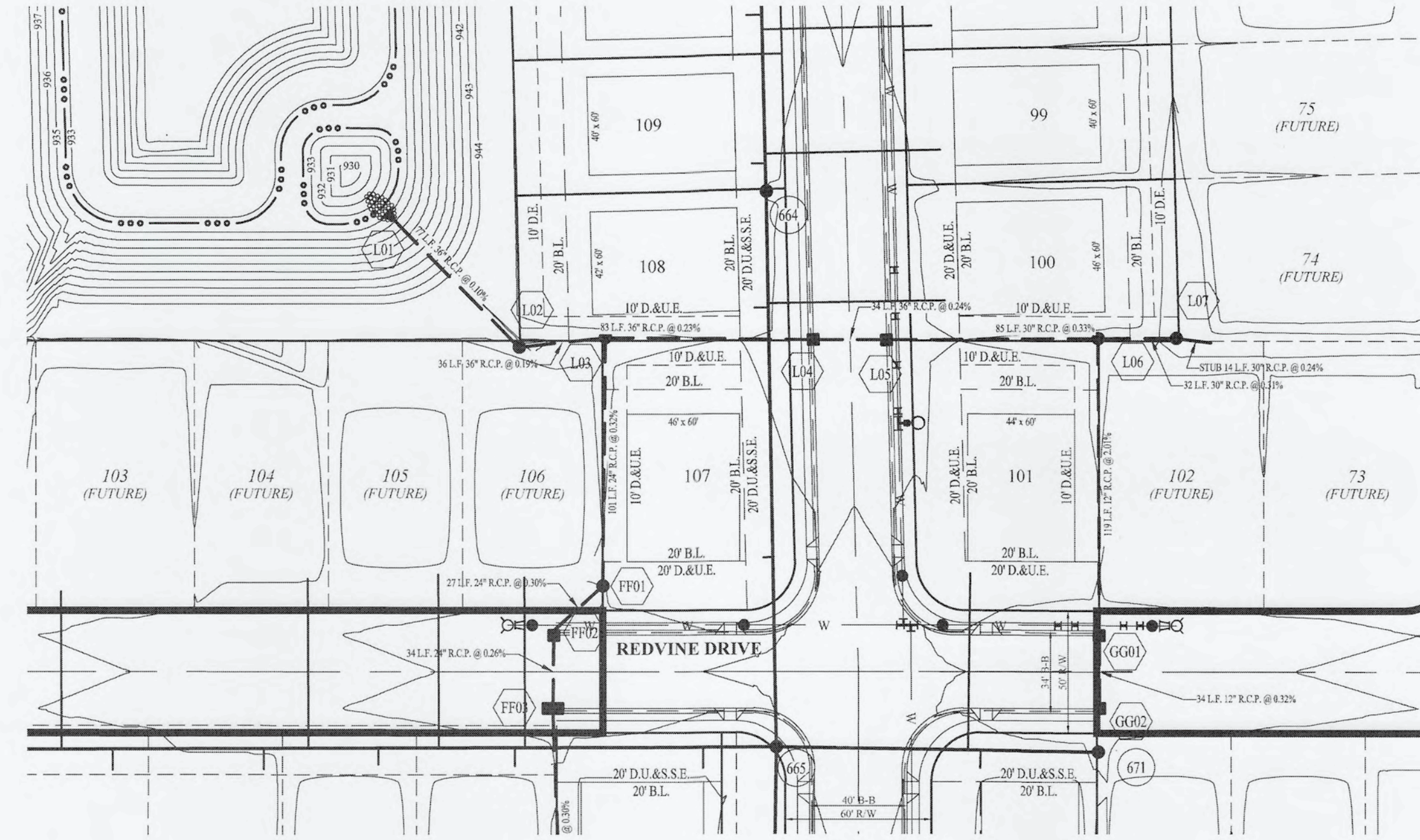
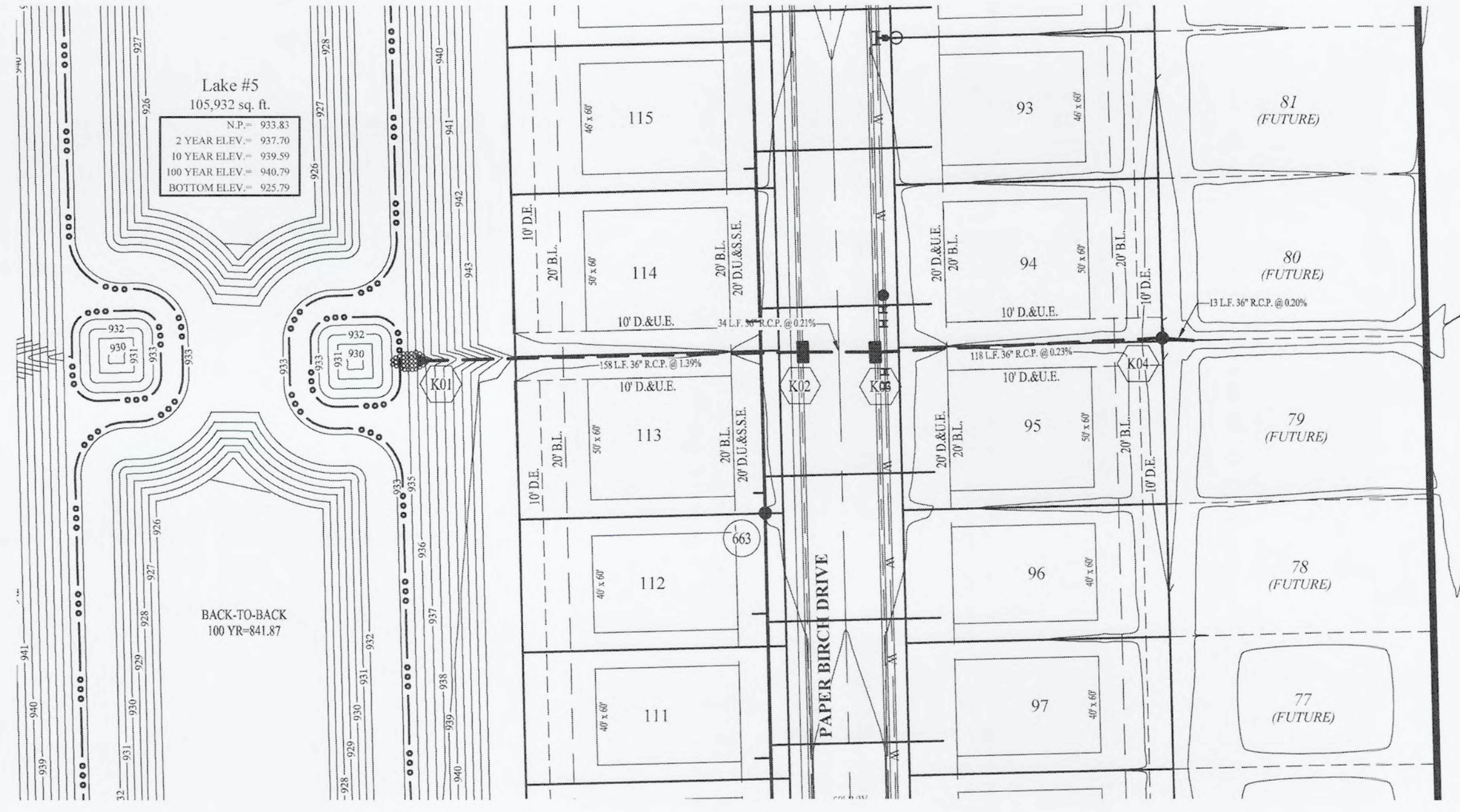
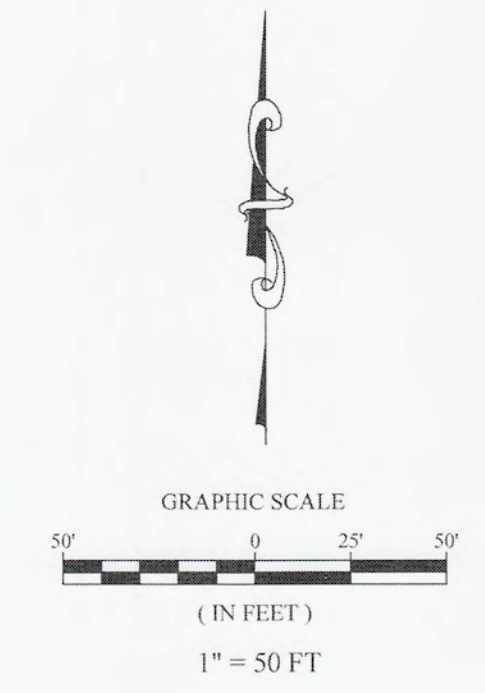
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	EXISTING STORM SEWER
	EXISTING WATER LINE
	PROPOSED SANITARY SEWER (w/ LATERALS)
	PROPOSED STORM SEWER
	PROPOSED WATER LINE
	DENOTES FULL DEPTH GRANULAR BACKFILL

NOTES

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RECORD DRAWING

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 Modified / By: January 25, 2022 3:22:51 PM / reavans
 Plotted / By: January 25, 2022 3:24:56 PM / Michael Evans

STOEPPELWERTH
 ALWAYS ON
 7905 East 106th Street, Fishers, IN 46038-2505
 phone: 317.846.5955 fax: 317.846.5942

STORM SEWER PLAN & PROFILES
MAPLE RUN
SECTION 5
 SHERIDAN, ADAMS TOWNSHIP
 HAMILTON COUNTY, INDIANA

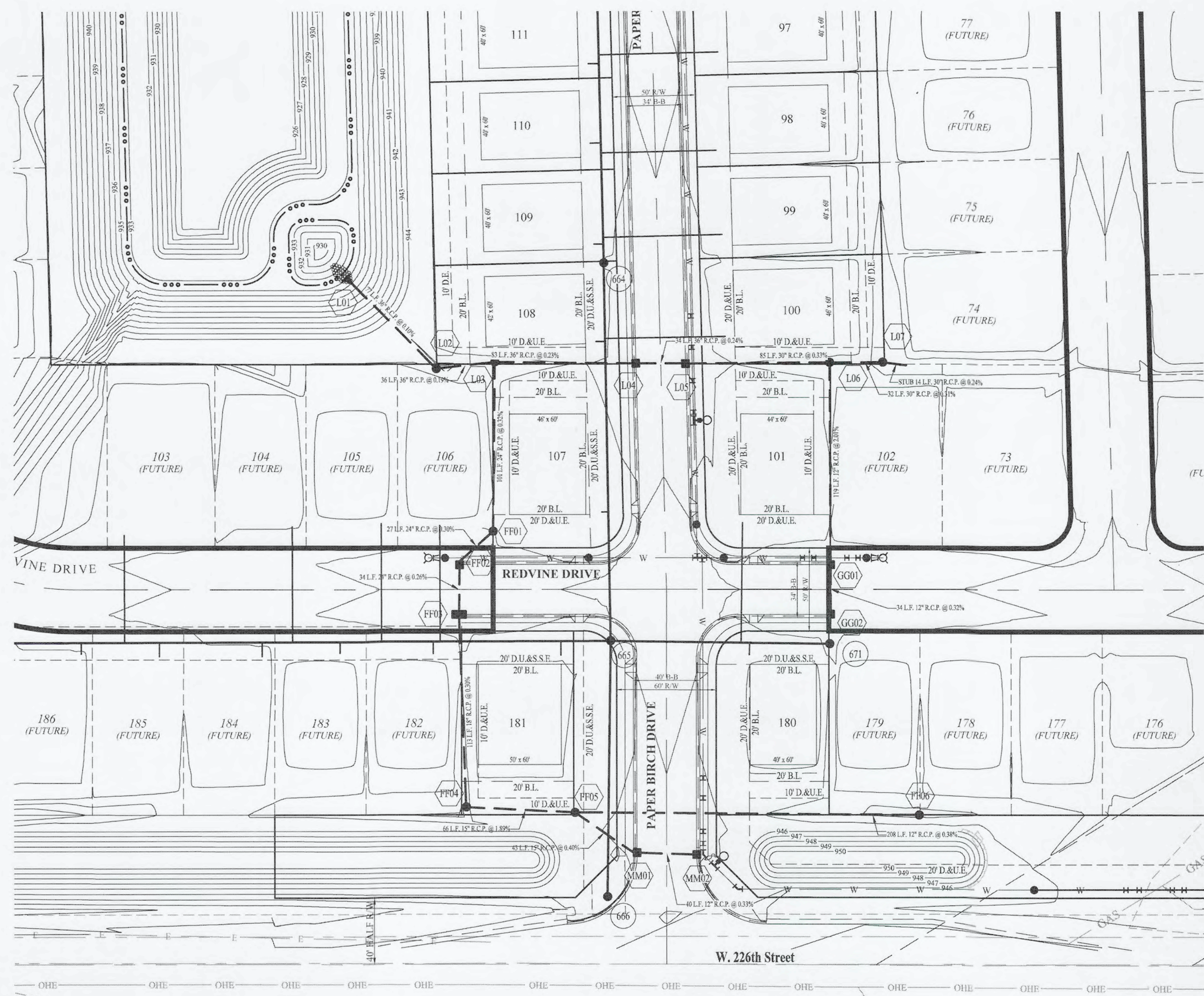
RECORD DRAWING

Drawn By: ADG Checked By: BKR
 SHEET NO. **C603**
 S.A. JOB NO. 51510ARB-S5

Dennis D. Olmstead
 Professional Land Surveyor
 No. 900012

DATE	MARK	REVISIONS	BY
01/25/22	11/10/20	AS BUILTS	MIE
		REVISED PLANS PER CLIENT COMMENTS	DSM

File Name: S:\1510ARB-S5\DWG\C604 Storm Sewer Plan & Profile.dwg - C604
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 Plotted / By:



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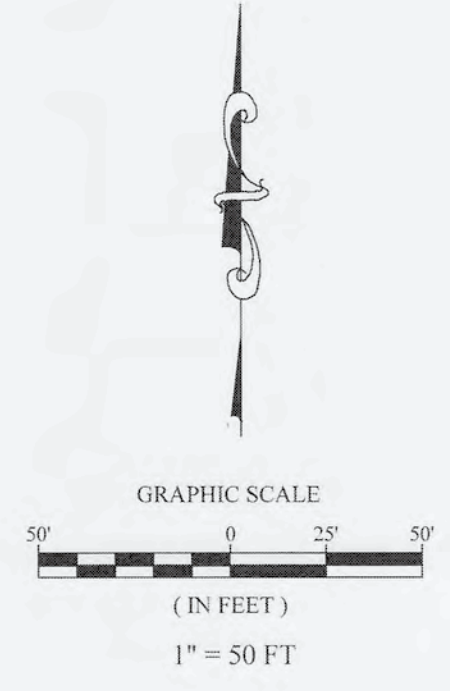
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- EXISTING STORM SEWER
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER (w/ LATERALS)
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- DENOTES FULL DEPTH GRANULAR BACKFILL

NOTES

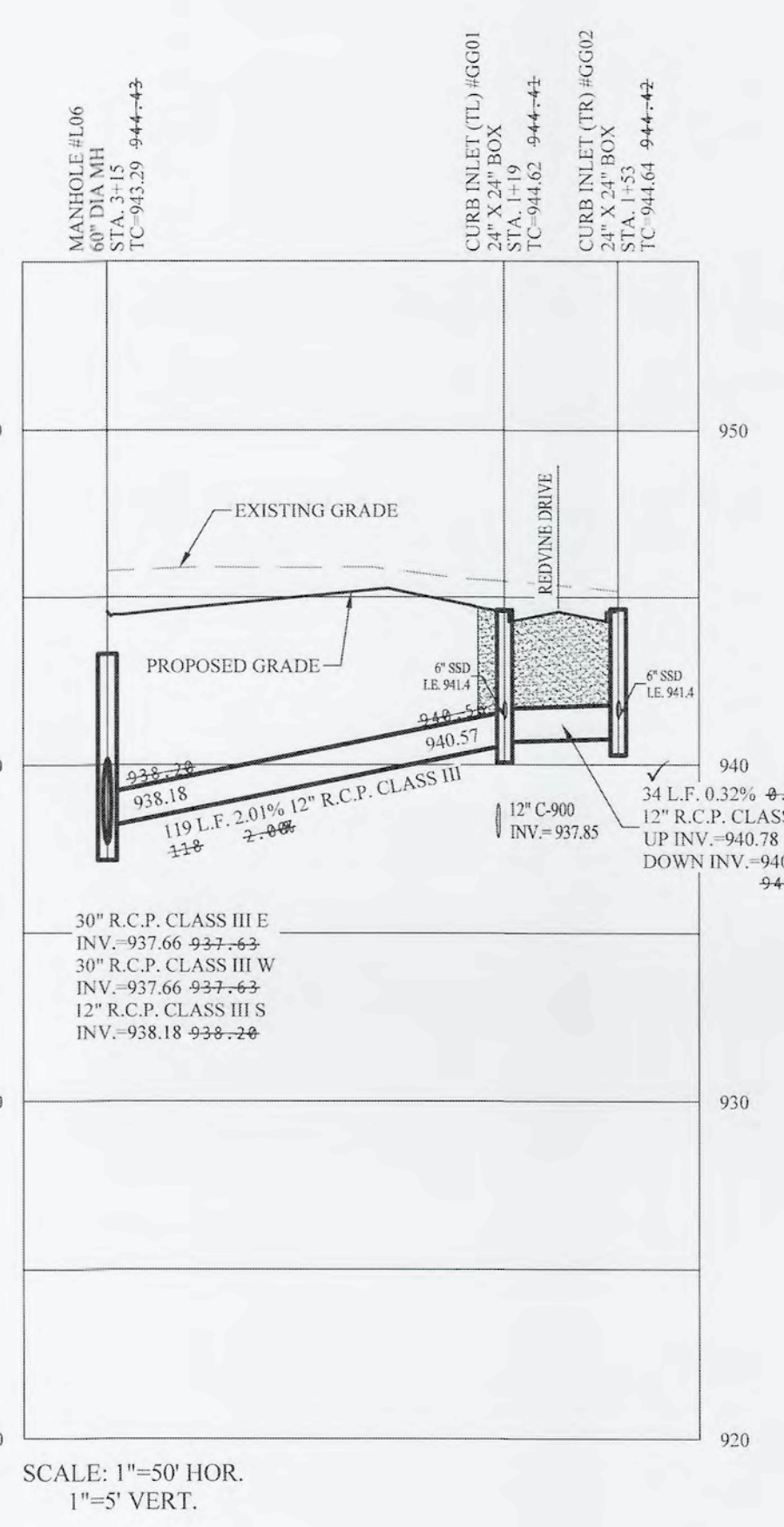
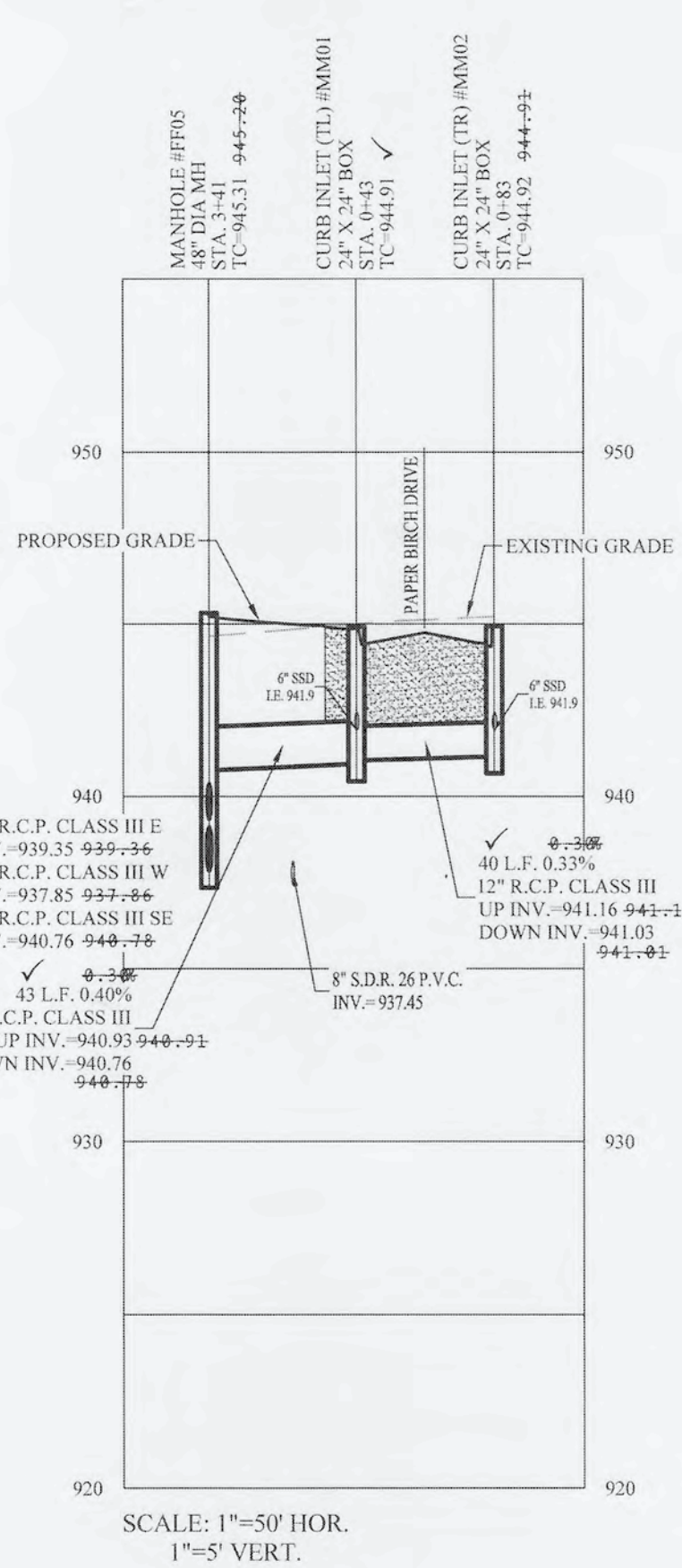
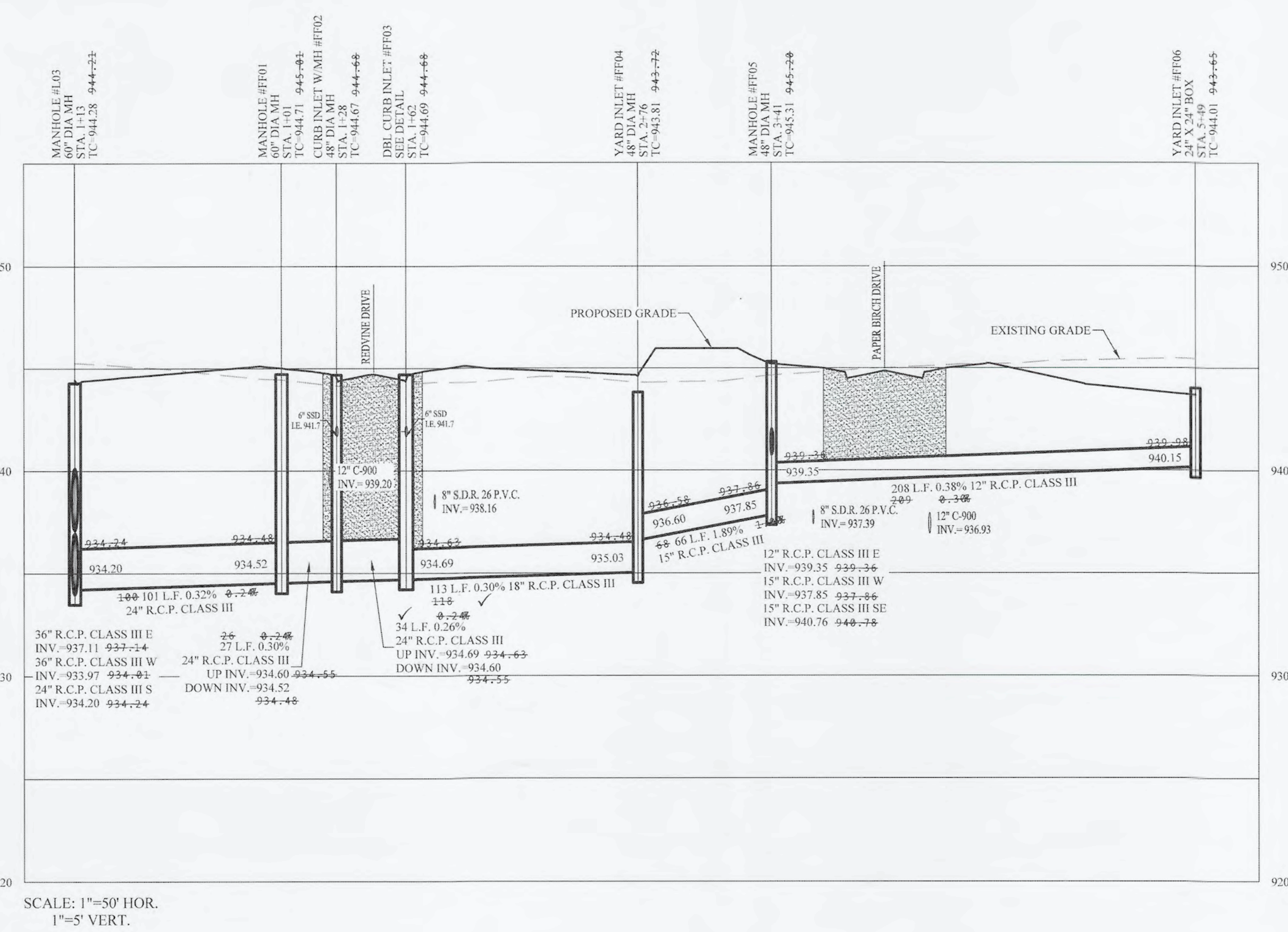
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- SEE SHEETS C802 - C804 FOR STRUCTURE DETAILS.

UTILITY CROSSINGS

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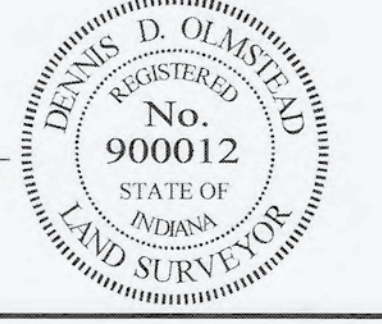


STORM STRUCTURE DATA TABLE											
STR.#	STR. NAME	STR. TYPE	T.C.	CASTING	DIA. IN	DIR. IN	INV. IN	DIA. OUT	DIR. OUT	INV. OUT	SLOPE
BB04	EX. YARD INLET	48" DIA MH	941.58	R-4342	12"	S	937.98	18"	N	937.88	0.30%
BB05	CURB INLET (TL)	24" x 24" BOX	944.58	EJ-7495-M2	12"	S	940.65	12"	N	940.55	2.18%
BB06	CURB INLET (TR)	24" x 24" BOX	944.54	EJ-7495-M1	12"	S	940.79	12"	N	940.79	0.41%
C01	END SECTION w/DEBRIS GUARD		938.72		66"	SW	932.60				
C02	MANHOLE	96" DIA MH	942.99	EJ-1076	66"	S	932.72	66"	NE	932.72	0.16%
C03	MANHOLE	96" DIA MH	941.19	EJ-1076	66"	S	932.88	66"	N	932.88	0.15%
C04	MANHOLE	96" DIA MH	943.85	EJ-1076	66"	S	933.08	66"	N	933.08	0.15%
C05	YARD INLET	96" DIA MH	941.50	EJ-6488N	66"	S	933.14	66"	N	933.14	0.17%
C06	MANHOLE	96" DIA MH	944.89	EJ-1076	66"	SW	933.29	66"	N	933.29	0.15%
C07	MANHOLE	96" DIA MH	944.99	EJ-1076	66"	S	933.45	66"	N	933.40	0.14%
C08	MANHOLE	96" DIA MH	943.67	EJ-1076	66"	SE	933.54	66"	N	933.54	0.15%
C09	END SECTION w/DEBRIS GUARD		939.76		66"	NW	933.63				0.14%
CC05	EX. MANHOLE	48" DIA MH	944.32	R-1772	12"	E	939.13	21"	N	939.03	0.30%
CC06	CURB INLET (TR)	24" x 24" BOX	944.53	EJ-7495-M2	12"	S	940.58	12"	N	940.48	1.61%
CC07	CURB INLET (TL)	24" x 24" BOX	944.56	EJ-7495-M1	12"	S	940.58	12"	N	940.69	0.32%
EE01	DBL. CURB INLET	SEE DETAIL	944.48	EJ-7495-M1/M2	15"	N	940.45	15"	S	940.35	2.01%
EE02	DBL. CURB INLET	SEE DETAIL	944.35	EJ-7495-M1/M2	15"	S	940.57	15"	S	940.57	0.35%
FF01	MANHOLE	60" DIA MH	944.71	EJ-1076	24"	SW	934.52	24"	N	934.52	0.32%
FF02	CURB INLET w/MH	48" DIA MH	944.67	EJ-7495-M1	24"	S	934.60	24"	NE	934.60	0.30%
FF03	DBL. CURB INLET	SEE DETAIL	944.69	EJ-7495-M1/M2	18"	S	934.69	24"	N	934.69	0.26%
FF04	YARD INLET	48" DIA MH	943.81	EJ-6488N	15"	E	936.60	18"	N	935.03	0.30%
FF05	MANHOLE	48" DIA MH	945.31	EJ-1076	12"	E	939.25	15"	W	937.85	1.89%
FF06	YARD INLET	24" x 24" BOX	944.01	EJ-6488N	15"	SE	940.76	12"	W	940.15	0.38%
GG01	CURB INLET (TL)	24" x 24" BOX	944.62	EJ-7495-M2	12"	S	940.67	12"	N	940.57	2.01%
GG02	CURB INLET (TR)	24" x 24" BOX	944.64	EJ-7495-M1	12"	S	940.78	12"	N	940.78	0.32%
J01	END SECTION w/DEBRIS GUARD		937.86		48"	NE	933.36				
J02	MANHOLE	96" DIA MH	944.21	EJ-1076	48"	E	933.72	48"	SW	933.72	0.65%
J03	CURB INLET w/MH	72" DIA MH	944.35	EJ-7495-M1	48"	E	934.02	48"	W	934.02	0.20%
J04	CURB INLET w/MH	72" DIA MH	944.41	EJ-7495-M1	48"	E	934.10	48"	W	934.10	0.24%
J05	YARD INLET	72" DIA MH	942.89	EJ-6488N	48"	E	934.41	48"	W	934.41	0.27%
J06	CURB INLET w/MH	72" DIA MH	944.44	EJ-7495-M1	48"	E	934.68	48"	W	934.68	0.23%
J07	CURB INLET w/MH	72" DIA MH	944.46	EJ-7495-M1	48"	E	934.77	48"	W	934.77	0.26%
J08	MANHOLE	96" DIA MH	943.48	EJ-1076	48"	S	935.06	48"	W	935.06	0.25%
J09	YARD INLET	96" DIA MH	943.54	EJ-6488N	48"	E	935.10	48"	N	935.10	0.14%
J10	CURB INLET w/MH	72" DIA MH	944.53	EJ-7495-M1	48"	E	935.25	48"	W	935.25	0.13%
J11	CURB INLET w/MH	72" DIA MH	944.50	EJ-7495-M1	48"	E	935.33	48"	W	935.33	0.24%
J12	YARD INLET	96" DIA MH	943.19	EJ-6488N	48"	N	935.53	48"	W	935.53	0.20%
J13	YARD INLET	72" DIA MH	943.18	72" TRASHRACKS				48"	S	936.00	0.26%
K01	END SECTION w/DEBRIS GUARD		937.31		36"	E	933.89				
K02	DBL. CURB INLET	SEE DETAIL	944.29	EJ-7495-M1/M2	36"	E	936.08	36"	W	936.08	1.39%
K03	DBL. CURB INLET	SEE DETAIL	944.20	EJ-7495-M1/M2	36"	E	936.15	36"	W	936.15	0.21%
K04	YARD INLET	60" DIA MH	942.63	EJ-6488N	36"	E	936.42	36"	W	936.42	0.23%
L01	END SECTION w/DEBRIS GUARD		937.24		36"	SE	933.82				
L02	MANHOLE	72" DIA MH	944.02	EJ-1076	36"	E	933.90	36"	NW	933.90	0.10%
L03	MANHOLE	60" DIA MH	944.28	EJ-1076	36"	E	937.11	36"	W	933.97	0.19%
L04	CURB INLET w/MH	60" DIA MH	944.42	EJ-7495-M1	36"	E	937.30	36"	W	937.30	0.23%
L05	CURB INLET w/MH	60" DIA MH	944.43	EJ-7495-M1	30"	E	937.38	36"	W	937.38	0.24%
L06	MANHOLE	60" DIA MH	943.29	EJ-1076	30"	E	937.66	30"	W	937.66	0.33%
L07	YARD INLET	60" DIA MH	943.23	EJ-6488N	30"	E	938.18	30"	W	937.76	0.31%
MM01	CURB INLET (TL)	24" x 24" BOX	944.91	EJ-7495-M2	12"	E	941.03	15"	NW	940.93	0.40%
MM02	CURB INLET (TR)	24" x 24" BOX	944.92	EJ-7495-M1	12"	W	941.16	12"	W	941.16	0.33%
U01	CURB INLET (TR)	24" x 24" BOX	944.29	EJ-7495-M1	12"	S	940.52	12"	NE	940.42	2.14%
U02	CURB INLET (TL)	24" x 24" BOX	944.31	EJ-7495-M2	12"	S	940.52	12"	N	940.78	0.77%
W01	CURB INLET (TR)	24" x 24" BOX	944.75	EJ-7495-M1	12"	S	940.53	12"	NE	940.43	1.70%
W02	CURB INLET (TL)	24" x 24" BOX	944.75	EJ-7495-M2	12"	S	940.65	12"	N	940.65	0.35%



RECORD DRAWING

1/27/2022
 Dennis D. Olmstead
 Professional Land Surveyor
 No. 900012



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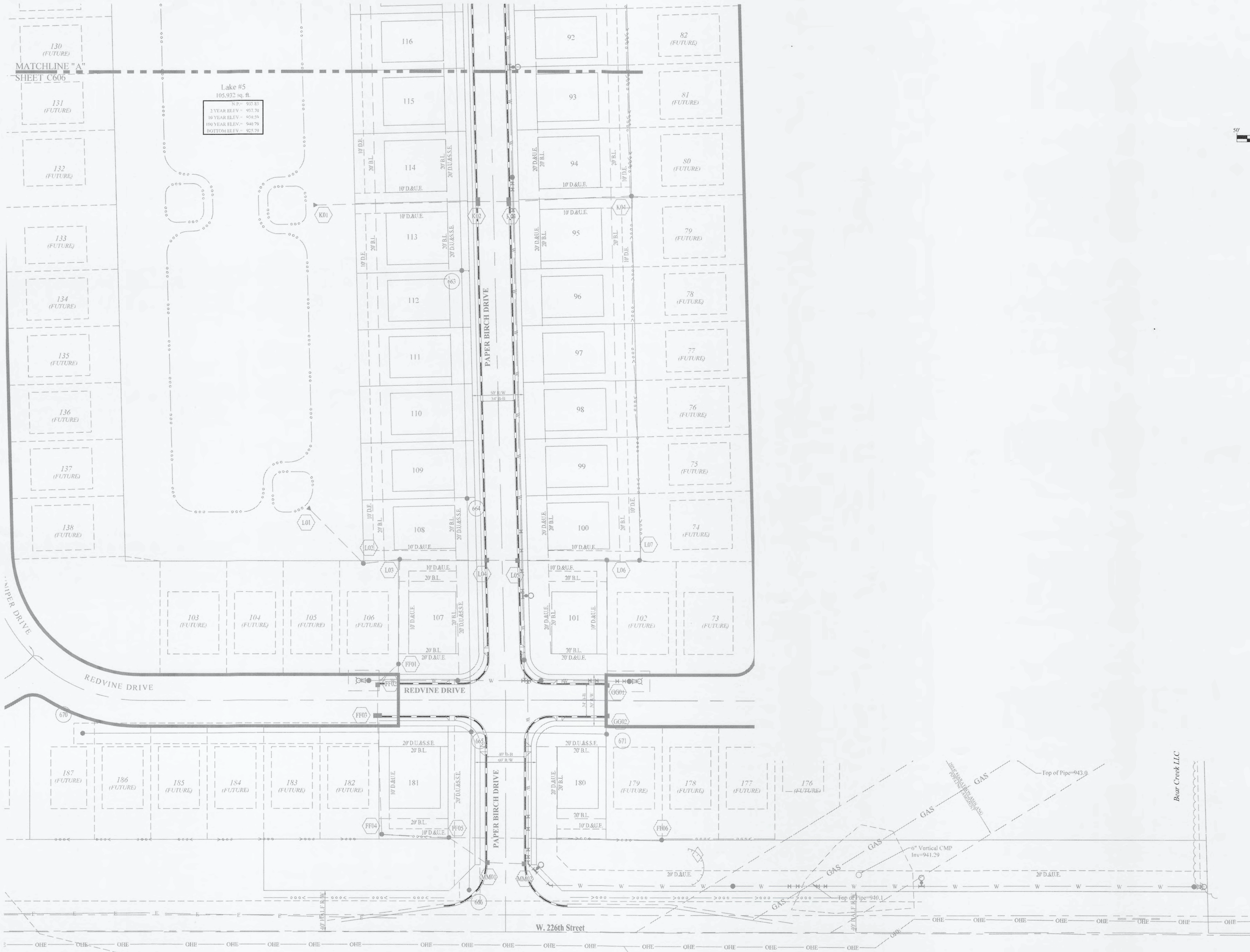
STOEPPELWERTH
 ALWAYS ON
 7945 East 106th Street, Fishers, IN 46038-2505
 phone: 317.846.5925 fax: 317.846.5942

REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA
 David J. Stappeler
 CERTIFIED: 10/26/2020

DRAWN BY: ADG CHECKED BY: BKR
 SHEET NO. C604
 S & A JOB NO. 1510ARB-S5

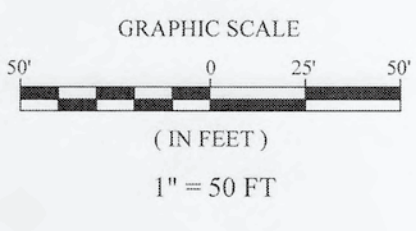
STORM SEWER PLAN & PROFILES
 MAPLE RUN SECTION 5
 SHERIDAN, ADAMS TOWNSHIP
 HAMILTON COUNTY, INDIANA

MAPLE RUN SECTION 4

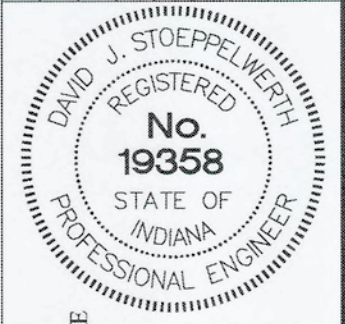


LEGEND

- EXISTING SANITARY SEWER (w/ LATERALS)
- EXISTING STORM SEWER
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER (w/ LATERALS)
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- PROPOSED CURB w/ 6" UNDERDRAIN
- PROPOSED 6" SUB-SURFACE DRAIN (WHERE SHOWN ON PLANS)



- NOTES**
- SEE SHEET C803 FOR SWALE SUB-SURFACE DRAIN DETAILS.
 - SEE SHEET C809 FOR CURB UNDERDRAIN DETAIL.
- UTILITY CROSSINGS**
- CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.



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CERTIFIED: 10/26/2020
David J. Stoppelwirth

STOEPPELWERTH
ALWAYS ON
7945 East 106th Street, Fishers, IN 46038-2905
phone: 317.849.5955 fax: 317.849.5942

SUB-SURFACE DRAIN / SUMP PUMP CONNECTION PLAN
MAPLE RUN SECTION 5
SHERIDAN, ADAMS TOWNSHIP
HAMILTON COUNTY, INDIANA

RECORD DRAWING

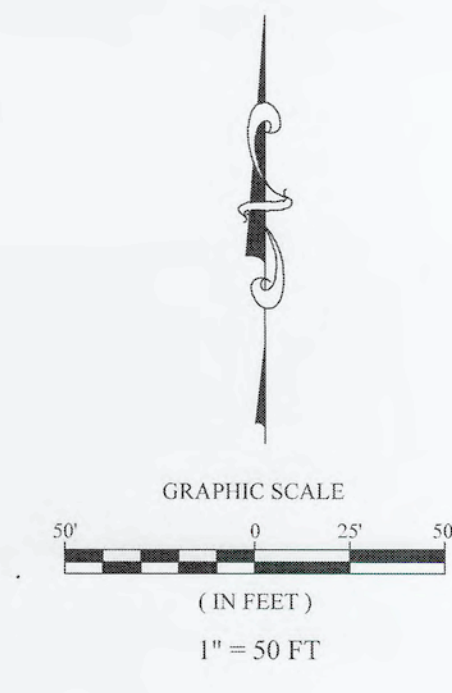
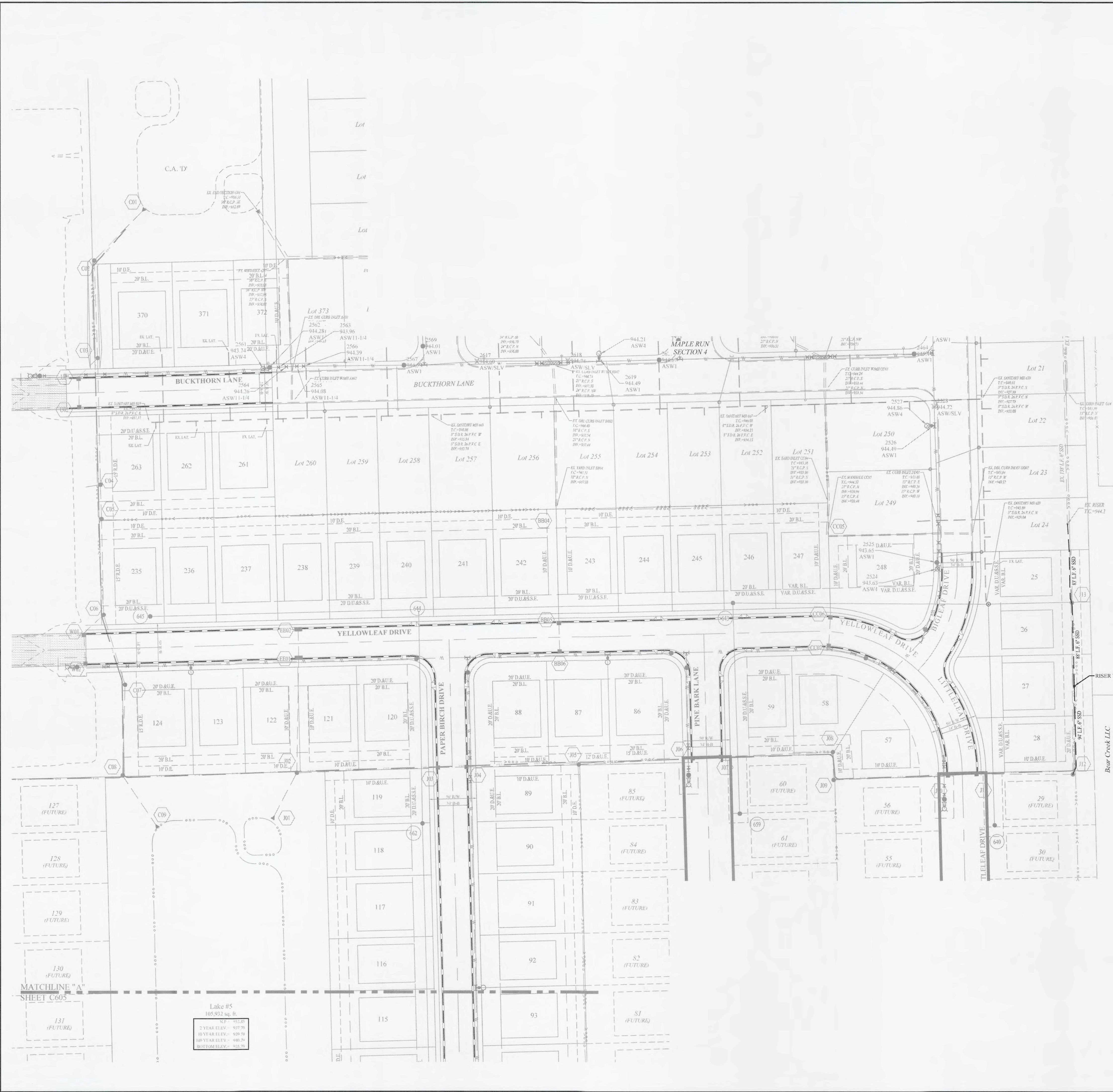
Drawn by: *D.O.*
Dennis D. Olmstead
Professional Land Surveyor
No. 900012
1/28/2022



DRAWN BY: ADG	CHECKED BY: BKR
SHEET NO. C605	
S.E.A. FORM NO. 51510ARB-S5	

File Name: S:\51510ARB-S5\DWG\C605 SubSurface Drain Plan Sump Connection Plan.dwg - C605
Modified / By: January 28, 2022 9:14:07 AM / mevrans
Plotted / By: January 28, 2022 9:14:54 AM / Michael Evans

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 Modified / By: January 28, 2022 9:14:07 AM / mevans
 Plotted / By: January 28, 2022 9:15:03 AM / Michael Evans



LEGEND	
	EXISTING SANITARY SEWER (w/ LATERALS)
	EXISTING STORM SEWER
	EXISTING WATER LINE
	PROPOSED SANITARY SEWER (w/ LATERALS)
	PROPOSED STORM SEWER
	PROPOSED WATER LINE
	PROPOSED CURB w/ 6" UNDERDRAIN
	PROPOSED 6" SUB-SURFACE DRAIN (WHERE SHOWN ON PLANS)

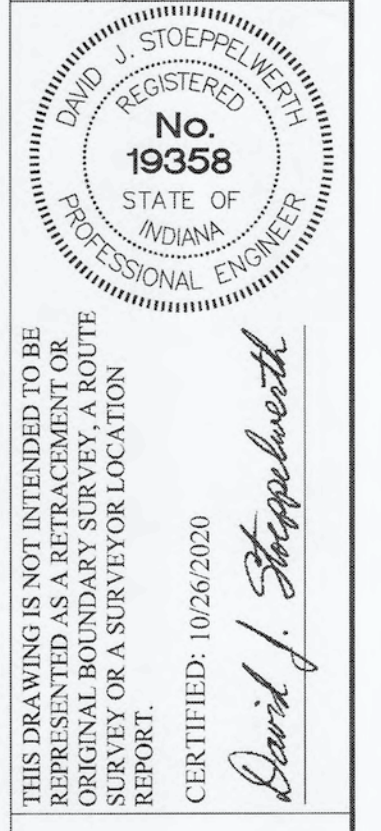
NOTES

- SEE SHEET C803 FOR SWALE SUB-SURFACE DRAIN DETAILS.
- SEE SHEET C809 FOR CURB UNDERDRAIN DETAIL.

UTILITY CROSSINGS

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

DATE	MARK	REVISIONS
01/28/22	AS BUILT	REVISED PLANS PER CLIENT COMMENTS
11/02/20	DATE	BY



THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A REFRACTION OR A SURVEY FOR A SURVEYOR LOCATION REPORT.

CERTIFIED: 10/26/2020
 David J. Stoppelwirth



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HAMILTON COUNTY, INDIANA

SHERIDAN, ADAMS TOWNSHIP

SUB-SURFACE DRAIN / SUMP PUMP CONNECTION PLAN
 MAPLE RUN SECTION 5

REGISTERED PROFESSIONAL LAND SURVEYOR
 No. 900012
 STATE OF INDIANA

NO. 900012

1/28/2022

Dennis D. Olmstead
 Professional Land Surveyor
 No. 900012

ADG
 BKR

SHEET NO.
C606

FILE #
 51510ARB-S5

RECORD DRAWING